



A meeting of the **DEVELOPMENT MANAGEMENT COMMITTEE** will be held in **THE CIVIC SUITE (LANCASTER/STIRLING ROOMS), PATHFINDER HOUSE, ST MARY'S STREET, HUNTINGDON, PE29 3TN** on **MONDAY, 20TH NOVEMBER 2023** at **6:00 PM** and you are requested to attend for the transaction of the following business:-

AGENDA

PLEASE NOTE THE ORDER OF THE AGENDA MAY CHANGE

APOLOGIES

1. MINUTES (Pages 5 - 8)

To approve as a correct record the Minutes of the meeting held on 16th October 2023.

2. MEMBERS' INTERESTS

To receive from Members declarations as to disclosable pecuniary, other registerable and non-registerable interests in relation to any Agenda item. See Notes below.

3. DEVELOPMENT MANAGEMENT - SECTION 106 AGREEMENTS

To consider reports by the Planning Service Manager (Development Management).

(a) Huntingdon - 18/01918/OUT (Pages 9 - 58)

Mixed use development comprising: Up to 1,000 dwellings, Primary School including early years provision, Up to 205sqm community floorspace, Up to 1,000sqm retail floorspace (Class A1), Food and drink uses (Classes A3-A4), Open space and play areas, Landscaping, Pedestrian and cycle links, Associated drainage and engineering works and, highway connections including primary and secondary vehicle access from Ermine Street and the A141 (Outline Planning Application for phased development with all matters reserved except means of access onto the local highway network) - Land North West of Spittals Way and Ermine Street, Great Stukeley.

(b) St Ives - 23/00724/S106 (Pages 59 - 74)

S106 Discharge of planning obligations for the removal of requirement to provide affordable housing on-site and payment of a financial contribution to support off-site affordable housing provision instead for 19/02280/FUL and 21/02079/S73 - How Gardens, Houghton Road, St Ives.

4. APPLICATIONS REQUIRING REFERENCE TO DEVELOPMENT MANAGEMENT COMMITTEE

To consider reports by the Planning Service Manager (Development Management).

(a) The Stukeleys - 23/80349/COND (Pages 75 - 106)

Discharge of condition 10 (Key Phase 2 Framework) for 1201158OUT - Alconbury Airfield Ermine Street Little Stukeley PE28 4WX.

(b) Huntingdon - 21/02422/FUL (Pages 107 - 138)

Erection of factory extension and creation of additional parking areas and associated works – Hotel Chocolat, 3 Redwongs Way, Huntingdon, PE29 7HF.

(c) Buckden - 22/02162/FUL (Pages 139 - 162)

Erection of four 5m poles (shown as squares on plan) with cameras for CCTV - Buckden Marina, Mill Road, Buckden.

(d) St Neots - 23/00745/FUL (Pages 163 - 196)

Erection of a bespoke designed wheelchair friendly bungalow and associated ancillary works – 49 St Neots Road, Eaton Ford PE19 7BA.

(e) Fenstanton - 23/00827/S73 (Pages 197 - 208)

Variation of Condition 5 of 20/00285/FUL - Removal of M4(2) (lifts) requirement to Blocks D1-D3 - F Vindis and Sons, St Ives Ltd, Low Road, Fenstanton.

5. APPEAL DECISIONS (Pages 209 - 210)

To consider a report by the Planning Service Manager (Development Management).

LATE REPRESENTATIONS

9th day of November 2023

Michelle Sacks

Chief Executive and Head of Paid Service

Disclosable Pecuniary Interests and other Registrable and Non-Registrable Interests

Further information on [Disclosable Pecuniary Interests and other Registrable and Non-Registrable Interests](#) is available in the Council's Constitution

Filming, Photography and Recording at Council Meetings

This meeting will be filmed for live and/or subsequent broadcast on the Council's YouTube site. The whole of the meeting will be filmed, except where there are confidential or exempt items. If you make a representation to the meeting you will be deemed to have consented to being filmed. By entering the meeting you are also consenting to being filmed and to the possible use of those images and sound recordings for webcasting and/or training purposes. If you have any queries regarding the streaming of Council meetings, please contact Democratic Services on 01480 388169.

The District Council also permits filming, recording and the taking of photographs at its meetings that are open to the public. Arrangements for these activities should operate in accordance with [guidelines](#) agreed by the Council.

Please contact Anthony Roberts, Democratic Services, Tel: 01480 388015 / email Anthony.Roberts@huntingdonshire.gov.uk if you have a general query on any Agenda Item, wish to tender your apologies for absence from the meeting, or would like information on any decision taken by the Committee.

Specific enquiries with regard to items on the Agenda should be directed towards the Contact Officer.

Members of the public are welcome to attend this meeting as observers except during consideration of confidential or exempt items of business.

Agenda and enclosures can be viewed on the [District Council's website](#).

Emergency Procedure

In the event of the fire alarm being sounded and on the instruction of the Meeting Administrator, all attendees are requested to vacate the building via the closest emergency exit.

This page is intentionally left blank

HUNTINGDONSHIRE DISTRICT COUNCIL

MINUTES of the meeting of the DEVELOPMENT MANAGEMENT COMMITTEE held in THE CIVIC SUITE (LANCASTER/STIRLING ROOMS), PATHFINDER HOUSE, ST MARY'S STREET, HUNTINGDON, PE29 3TN on Monday, 16th October 2023

PRESENT: Councillor D L Mickelburgh – Chair.

Councillors R J Brereton, E R Butler, S J Corney, L Davenport-Ray, K P Gulson, P A Jordan, S R McAdam, S Mokbul, T D Sanderson, R A Slade and S Wakeford.

APOLOGIES: Apologies for absence from the meeting were submitted on behalf of Councillors D B Dew, I D Gardener, J Neish and C H Tevlin.

28 MINUTES

The Minutes of the meeting of the Committee held on 18th September 2023 were approved as a correct record and signed by the Chair.

29 MEMBERS' INTERESTS

Councillor S McAdam declared an Other Registrable Interest in Minute No 30 (a) by virtue of the fact that he was a Member of Huntingdon Town Council but he had taken no part in any discussions or decisions on the application.

Councillor S McAdam also declared an Other Registrable Interest in Minute No 30 (c) by virtue of the fact that he was a Member of Huntingdon Town Council but he had taken no part in any discussions or decisions on the application.

Councillor T Sanderson declared an Other Registrable Interest in Minute No 30 (a) by virtue of the fact that he was a Member of Huntingdon Town Council but he had taken no part in any discussions or decisions on the application.

Councillor T Sanderson declared an Other Registrable Interest in Minute No 30 (c) by virtue of the fact that he was a Member of Huntingdon Town Council but he had taken no part in any discussions or decisions on the application.

Councillor S Corney declared a Non-Registrable Interest in Minute No 30 (e) by virtue of the fact that the application related to the Ward he represented.

Councillor R Brereton declared a Non-Registrable Interest in Minute No 30 (e) by virtue of the fact that the application related to the Ward he represented.

Councillor S Wakeford declared a Non-Registrable Interest in Minute No 30 (a) by virtue of the fact that the application related to the Ward he represented.

Councillor P Jordan declared a Non-Registrable Interest in Minute No 30 (b) by virtue of the fact that she had met the applicant during a site visit but had not discussed the application.

30 APPLICATIONS REQUIRING REFERENCE TO DEVELOPMENT MANAGEMENT COMMITTEE

The Planning Service Manager (Development Management) submitted reports (copies of which are appended in the Minute Book) on applications for development to be determined by the Committee. Members were advised of further representations, which had been received since the reports had been prepared. Whereupon, it was

RESOLVED

a) The construction of eleven new Use Class E single storey business units and the associated access road, parking and landscaping - Land North of 11 Latham Road, Huntingdon - 23/00216/FUL

(Councillor A McAdam, Huntingdon Town Council, and M Coulson, Applicant, addressed the Committee on the application).

See Minute No 29 for Members' interests.

that the application be refused for the following reasons:

a) By virtue of the design, layout and separation distances of the two blocks, along with the dominance of car parking and hardstanding with limited soft landscaping, the proposal is considered to represent a cramped form of development that is of poor design and would result in visual harm to the site and would be uncharacteristic of the surrounding area. As such, the proposal is contrary to Policies BE1 and BE2 of the Huntingdon Neighbourhood Plan, Policies LP11 and LP12 of Huntingdonshire's Local Plan to 2036, the Huntingdonshire Design Guide SPD and Section 12 of the National Planning Policy Framework 2023.

b) The drainage calculations included within the Drainage Strategy Plan do not fully model all flood events and uses incorrect rainfall data. Furthermore, an 'in-principle' agreement from the sewer undertaker is required to discharge into their system at an agreed rate. As such, the Local Planning Authority is not able to satisfy itself that the proposal would be acceptable with regard to its impact on both flood risk and surface water. Therefore, the proposal is contrary to Policies LP5, LP6 and LP15 of Huntingdonshire's Local Plan to 2036 and Section 14 of the National Planning Policy Framework 2023.

b) Erection of stables, formation of menage and retrospective approval for existing stables - Land East of High Haden Farm, High Haden Road, Glatton - 21/02045/FUL

(Councillor C Stretton, Glatton Parish Council, addressed the Committee on the application and W Matthews, applicant, was present for questions).

See Minute No 29 for Members' interests.

that the application be approved subject to conditions to be determined by the Planning Service Manager (Development Management) to include those listed in the report now submitted.

c) Proposed new dwelling - 41 West Street, Huntingdon - 23/00270/OUT

(Councillor A McAdam, Huntingdon Town Council, and A Hawkins and E Fitzgerald, objectors, addressed the Committee on the application).

See Minute No 29 for Members' interests.

- a) The proposed development by reason of its layout and scale, which is significantly constrained by the size of the site, would create an incongruous and discordant addition to the street scene detrimental to the established character and appearance of the Conservation Area. The Local Planning Authority is therefore not satisfied that a detailed scheme could be brought forward that would be acceptable in terms of its layout, appearance and landscaping and the proposals do not have regard to the preservation and enhancement of the Huntingdon Conservation Area. Accordingly, the proposal is considered contrary to Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, Policies, BE1, BE2 and BE3 of the Huntingdon Neighbourhood Plan, Policies LP11, LP12 and LP34 of Huntingdonshire's Local Plan to 2036, the Huntingdonshire Design Guide SPD and Sections 12 and 16 of the National Planning Policy Framework (2023).
- b) Based on the scale of the proposed dwelling submitted for consideration at this stage, and the lack of information provided as part of this application, the Local Planning Authority considers the proposal would result in unacceptable impacts on the amenities of neighbouring properties on North Street by virtue of overbearing and overshadowing impacts. It is therefore considered that the proposal would be contrary to Policy LP14 of Huntingdonshire's Local Plan to 2036, the Huntingdonshire Design Guide SPD and Section 12 of the National Planning Policy Framework (2023).

At 8.41 pm the meeting was adjourned.

At 8.50 pm the meeting resumed.

d) Application for Reserved Matters (Appearance, Landscaping, and Scale) of 20/01909/OUT - erection of three dwellings and garages - Land South of 11 Bird Lane, Hail Weston - 23/01243/REM

(Councillor S Mailer, Hail Weston Parish Council, G Moffitt, objector, and H Doyle, Agent, addressed the Committee on the application).

that the application be approved subject to conditions to be determined by the Planning Service Manager (Development Management) to include those listed in the report now submitted.

- e) **Undertake landscaping and building works to an existing site to create equestrian facilities and grazing land. The proposals will include a hard standing at the front of the site, stables, and fenced off areas to create grazing land - Land on South Side of Middle Drove, Ramsey Heights - 19/01847/FUL**

(Councillor C Maskell, Ramsey Town Council, addressed the Committee on the application).

See Minute No 29 for Members' interests.

that the application be approved subject to conditions to be determined by the Planning Service Manager (Development Management) to include those listed in the report now submitted.

31 APPEAL DECISIONS

The Committee received and noted a report by the Planning Service Manager (Development Management), which contained details of a recent decision by the Planning Inspectorate. A copy of the report is appended in the Minute Book.

RESOLVED

that the contents of the report be noted.

Chair

DEVELOPMENT MANAGEMENT COMMITTEE 20th NOVEMBER 2023

Case No: 18/01918/OUT
Proposal: MIXED USE DEVELOPMENT COMPRISING: UP TO 1,000 DWELLINGS, PRIMARY SCHOOL INCLUDING EARLY YEARS PROVISION, UP TO 205SQM COMMUNITY FLOORSPACE, UP TO 1,000SQM RETAIL FLOORSPACE (CLASS A1), FOOD AND DRINK USES (CLASSES A3-A4), OPEN SPACE AND PLAY AREAS, LANDSCAPING, PEDESTRIAN AND CYCLE LINKS, ASSOCIATED DRAINAGE AND ENGINEERING WORKS AND, HIGHWAY CONNECTIONS INCLUDING PRIMARY AND SECONDARY VEHICLE ACCESS FROM ERMINE STREET AND THE A141 (OUTLINE PLANNING APPLICATION FOR PHASED DEVELOPMENT WITH ALL MATTERS RESERVED EXCEPT MEANS OF ACCESS ONTO THE LOCAL HIGHWAY NETWORK).
Location: LAND NORTH WEST OF SPITTALS WAY AND ERMINE STREET, GREAT STUKELEY
Applicant: BLOOR HOMES/NARROWMINE PROPERTIES
Grid Ref: (E)522340 (N)273426
Date of Registration: 02/11/2018
Parish: HUNTINGDON AND THE STUKELEYS

RECOMMENDATION –

Delegated powers to APPROVE following confirmation of the Transport Contribution and subject to completion of a S106 agreement and conditions.

OR

REFUSE in the event that the obligation referred to above has not been completed and the applicant is unwilling to agree to an extended period for determination, or on the grounds that the applicant is unwilling to complete the obligation necessary to make the development acceptable.

This application is referred to the Development Management Committee (DMC) because the application seeks contributions in excess of £100,000 and the Officer recommendation is contrary to the objection of Huntingdon Town Council.

1. DESCRIPTION OF SITE AND PROPOSAL

- 1.1 The site comprises approximately 50 hectares of agricultural land predominantly falling within Grade 3, with an area of the northern corner

within Grade 2. Footpath 133/42, a public right of way (PROW) runs within the site from the eastern corner to the north west, with a further PROW (Footpath 133/44) running east-west across the northern corner. Footpath 133/46 runs east-west along the southern corner, crossing the former A14.

- 1.2 The site represents the southern part of the wider HU1 – Ermine Street, allocation, for approximately 1440 dwellings, a primary school and community facilities to meet the needs of the development, business floor space within use classes A1 and A3 to A5 and strategic green infrastructure. The allocation also makes provision for safeguarding of land to support a potential realignment route for the A141. The northern parcel of the allocation adjoins the southern part of the SEL1.1 – Former Alconbury Airfield and Grange Farm allocated site.
- 1.3 Contextually, the site is located to the northwest of Huntingdon, on the outside edge of the A141. To the east is Ermine Business Park, an established employment area, with employment and retail further east beyond the business park. To the south is a residential area, separated from the site by the A141, and with Hinchingsbrooke Business Park beyond that. To the west is agricultural land, and to the northwest, beyond the agricultural land, sits the village of Great Stukeley.
- 1.4 Physically, the site is bordered by the A141 to the southeast, the A1307 to the southwest and Ermine Street to the northeast, with footpath 133/42 running along the northern side of Ermine Street. The site slopes from the northeast to the southwest, with the low point sitting close to the A1307. There is a wealth of established vegetation along the boundaries, with the exception of the northeast boundary with Ermine Street, which is more sparsely vegetated and open to views across the entirety of the site. Along the northwest boundary, beyond the planting, in a drainage ditch, running concurrent with an access serving Brookfield Farm Cottages.
- 1.5 The application is in outline form with all matters reserved except for access, which is for consideration at this stage. It proposes:
 - Up to 1000 Dwellings
 - Primary School for up to 420 children, including an additional 56 Early Years placements
 - A Local Centre incorporating;
 - Up to 1000m² of retail floor space within Use Class A1
 - Food and Drink Uses within Use Classes A3 and A4
 - Up to 205m² of floor space for a community facility within Use Class D1.
 - Open Space and Green Infrastructure, including formal sport provision.
- 1.6 The application proposes two access points, with the main access from Ermine Street to the north in the form of a roundabout and a secondary access from the existing A141 in the form of a signalised junction.
- 1.7 The application has been accompanied by the following plans and documents that have been considered in the assessment of this application:
 - Access Plans including the following;
 - Access Strategy Overview
 - A141/Ermine St Roundabout Improvements

- North Access Proposal
- South Access Proposals
- Pedestrian Access Location
- Pedestrian Access Plan
- Parameter Plans including the following;
 - Access and Movement Plan
 - Land Use and Building Heights Plan
 - Green & Blue Infrastructure Plan
- Application Form
- Agricultural Land Classification & Soil Resource Report
- Design & Access Statement and Design Code
- Environmental Statement
- Green Infrastructure Strategy
- Flood Risk Assessment
- Planning Statement
- Preliminary Ecological Appraisal
- Statement of Community Involvement
- Sustainability Statement
- Transport Assessment
- Utility Statement
- Waste Management Strategy
- Indicative Masterplan
- Regulatory Plan
- Landscape Masterplan
- Rights of Way Strategy Plan
- Local Centre and Primary School Arrangement Plan
- Public Rights of Way Strategy Plan

2. NATIONAL GUIDANCE AND POLICY AND RELEVANT LEGISLATION

- 2.1 The National Planning Policy Framework 2023 (NPPF) sets out the three economic, social and environmental objectives of the planning system to contribute to the achievement of sustainable development. The NPPF confirms that 'So sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development...' (para. 10). The NPPF sets out the Government's planning policies for, amongst other things:
- delivering a sufficient supply of homes;
 - achieving well-designed places;
 - conserving and enhancing the natural environment;
 - conserving and enhancing the historic environment.
- 2.2 The National Planning Practice Guidance (NPPG), the National Design Guide 2019 (NDG) and the Noise Policy Statement for England (NPSE) are also relevant and a material consideration.
- 2.3 For full details visit the government website [National Guidance](#).
- 2.4 Relevant Legislation;
- Planning and Compulsory Purchase Act 2004
 - Town and Country Planning Act 1990 (as amended)

- Planning (Listed Buildings and Conservation Areas) Act 1990
- Ancient Monuments and Archaeological Areas Act 1979

3. LOCAL PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)
- LP1 Amount of Development
 - LP2 Strategy for Development
 - LP3 Green Infrastructure
 - LP4 Contributing to Infrastructure Delivery
 - LP5 Flood risk
 - LP6 Waste Water Management
 - LP7 Spatial Planning Areas
 - LP11 Design Context
 - LP12 Design Implementation
 - LP13 Placemaking
 - LP14 Amenity
 - LP15 Surface Water
 - LP16 Sustainable Travel
 - LP17 Parking Provision and Vehicle Movement
 - LP21 Town Centre Vitality and Viability
 - LP22 Local Services and Community Facilities
 - LP24 Affordable Housing Provision
 - LP25 Housing Mix
 - LP29 Health Impact Assessment
 - LP30 Biodiversity and Geodiversity
 - LP31 Trees, Woodland, Hedges and Hedgerows
 - LP36 Air Quality
 - LP37 Ground Contamination and Groundwater Pollution
 - HU1 Ermine Street, Huntingdon
- 3.2 Huntingdon Neighbourhood Plan (Adopted 2019)
- Policy TC2 – Public Realm
 - Policy TC5 – Local Neighbourhood Shopping
 - Policy TL2 – Leisure and Community Facilities
 - Policy TL3 – Provision of Sports Facilities
 - Policy NE2 – Open Space and Green Infrastructure
 - Policy NE3 – Setting of Huntingdon
 - Policy BE1 – Design and Landscaping
 - Policy BE2 – Local Distinctiveness and Aesthetics
 - Policy BE3 – Heritage Assets
 - Policy TT1 – Sustainable Transport
- 3.3 Supplementary Planning Documents (SPD)
- Huntingdonshire Landscape and Townscape Assessment – Adopted 2022
 - Huntingdonshire Design Guide – Adopted 2017
 - Cambridgeshire Flood and Water SPD – Adopted 2017
 - RECAP Waste Management Design Guide (CCC SPD) – Adopted 2012
 - Developer Contributions – Adopted 2011 (costs updated annually)
 - Annual Monitoring Report (AMR) 2023 – October 2023
- 3.4 For full details visit the Council's website [Local policies](#).

4. PLANNING HISTORY

- 4.1 17/70254/SCOP – Scoping Opinion for:
- Up to 1,100 dwellings, including an unreserved phase of up to 400 dwellings;
 - A Primary school;
 - Community Floorspace (D1);
 - Food and drink retail (Class A3-A4);
 - A potential hotel (C1 use);
 - Open space and play areas;
 - Landscaping;
 - Pedestrian and cycle links;
 - Associated drainage and engineering works;
 - Works to create internal roads and highway connections including primary and
 - secondary vehicle access from Ermine Street and the A141;
 - The realignment of the A141 junction at the Spittals roundabout
- Response Issued 18.01.2018 and is in the public domain.

Surrounding sites

- 4.2 Alconbury Weald – 1201158OUT - Up to 290,000 sqm of employment floor space, including data storage and a materials recovery demonstration centre and up to 5,000 dwellings, including sheltered/extra care accommodation; a mixed use hub and mixed use neighbourhood facilities, including retail, commercial, leisure, health, place of worship and community uses; non-residential institutions including primary schools, nurseries, a secondary school and land reserved for post 16 education provision; open spaces, woodlands and sports provision; retention of listed buildings; new vehicular access points from Ermine Street and the A141, with other new non-vehicular access points; associated infrastructure; reserve site for a railway station and ancillary uses; and associated demolition and groundworks. Approved 01/10/2014.
- 4.3 Alconbury Weald - 19/01320/S73 – Variation of conditions 1, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 18, 20, 24, 26 and 28 for application 1201158OUT - Amended wording (see covering letter, appendix 1) and Key Phase Submission - KP2 - The Country Park (Hybrid Element). Pending Consideration.
- 4.4 Grange Farm - 19/01341/OUT – Outline planning permission (all matters reserved) for a mixed-use phased development to include - residential development of up to 1,500 dwellings (C2 and C3), local centre including retail and community facilities (A1-A5 and D1), primary school, open space, play areas, recreation facilities, landscaping, associated demolition, ground works and infrastructure. Pending Consideration.
- 4.5 North Ermine Street - 20/00847/OUT – Outline planning application for the phased development of up to 648 dwellings with associated public open space, services and other ancillary infrastructure with all matters reserved except for the means of access. Pending Consideration.

5. CONSULTATIONS

- 5.1 Huntingdon Town Council (copy attached) – Concerns regarding traffic volumes and whether the proposed pedestrian crossing was suitable for the A141. Suggest a bridge may be safer. Concerns regarding road changes that are insufficient.
- 5.2 The Stukeleys Parish Council – adjacent Parish (copy attached) – Objection. Highways issues have not been clarified as the site will generate traffic beyond the capacity of existing roads. There will be disturbance of local communities and the loss of agricultural land.
- 5.3 Police Design Officer – No objections. This appears to be an appropriate indicative layout in relation to crime prevention and fear of crime. The proposed development should incorporate the principles of ‘Secured by Design’. Further comment will be withheld until reserved matters stage, but consideration should be given to ensure the security of buildings, homes and amenity space to provide a safe environment for residents and visitors. Comments are made regarding open space, lighting, cycle storage and window positions to inform subsequent reserved matters applications.
- 5.4 HDC Waste – No objection. The waste management strategy clearly outlines the provisions for waste collections for individual properties. Request refuse tracking plans to ensure the collection of waste is as efficient as possible.
- 5.5 HDC Sport Development Manager – Query regarding flooding issues within areas proposed for sport. Note the provision of changing facilities but that the tennis courts have not been provided within this proposal.
- 5.6 Sport England – Support. The proposals include new football facilities and a new cricket square that would help address established deficiencies.

The Rugby & Football Union encourage an offsite contribution towards the sport facility on Alconbury Weald, rather than on-site provision.

The England & Wales Cricket Board (ECB) advise that off-site contributions towards cricket would be the priority to help meet increased demand. The scheme should only include non-turf artificial cricket wickets to meet demand, and not grass squares.

Sport England support the application and recommend conditions requiring a detailed assessment of the ground is carried out to demonstrate playing fields can be delivered to an acceptable level, and that details of management and maintenance for the facility are submitted.

- 5.7 HDC Tree Officer – No comments. Given limited planting no survey needed at this stage.
- 5.8 Wildlife Trust – Satisfied with the approach to protected species set out within the ES. Concerns the proposed open space is not sufficient to deliver the uses required. A demonstration of a biodiversity net gain should be provided prior to determination. (*Officer Note: this is discussed further in later sections of this report.*)

- 5.9 HDC Housing – No objection subject to securing affordable housing within the Section 106 agreement.
- 5.10 Natural England – No objection subject to appropriate mitigation being secured to prevent adverse impacts to the Portholme Special Area of Conservation (SAC) and Site of Special Scientific Interest (SSSI).
- 5.11 CCC Definitive Maps Team – No objection in principle. It is noted that, until such time as detailed plans come forward, final comments on the PROW strategy cannot be provided. The proposed diversions, extinguishments and new designations of rights of way are noted and in principle considered acceptable. Detailed designs of these rights of way will be required, in accordance with the County Council's adopted guidance. The applicant will be required to follow a legal process to make amendments to rights of way, outside the planning process. It is noted that the legal alignment of the PROWS on site are currently obstructed, and this will need to be rectified by the developer, secured by condition. The designation of the new perimeter bridleway and connection to Bridleway no.26 are supported in principle. The applicant will need to ensure these fully meet surrounding bridleways in order to support network connections. Conditions are recommended requiring a Public Rights of Way scheme to be approved, details of any replacement routes, that all planting is offset by 2m from rights of way and right of way shall remain open and accessible. S106 contributions are sought on the basis of £66,000 towards the creation of Bridleways and associated physical works.
- 5.12 British Horse Society – Objection, no provision has been made for equestrians. Provision for bridleways and links to the existing network will be required to overcome the objection, together with a future plan for bridleways in the wider vicinity given developments coming forward in the area. It is noted the Green Infrastructure Strategy indicates connections to the surrounding network.
- 5.13 HDC Environmental Health Officer – The suggested mitigation in the ES would be appropriate in relation to noise, and it would be expected more specific details would be provided as part of subsequent reserved matters applications, required by condition. It is noted there is likely to be external plant to some proposed uses and the potential for other noise impacts such as deliveries, and further details would be required before this could be considered.
- It is considered the proposal will not lead to a breach of national objectives in terms of air quality. However, it is important to minimise the impacts and consideration should be given to the use of positive design measures such as good pedestrian and cycle infrastructure, provision of electric vehicle charging points and provision of low NOx boilers. Further controls may be required in relation to the takeaway but this may be appropriate to consider at reserved matters stage.
- The ES indicates a suitable approach to the proposed lighting and it would be expected details would be provided as part of subsequent reserved matters applications.
- A Land Contamination investigation should be undertaken in accordance with section 13 of the ES, particularly the programme of gas monitoring of the former drainage channels.
- Prior to any works, a construction environmental management plan would be required to be submitted and agreed.

Query whether the changes in transport modelling will affect noise or air quality arrangements.

- 5.14 CCC Lead Local Flood Authority (LLFA) – No objection following submission of additional information. Recommend conditions requiring a detail surface water drainage scheme is submitted.
- 5.15 NHS – There is currently insufficient capacity available within existing surgeries to accommodate the increased need generated by the development. A contribution of £1,025,486 is required in order to expand facilities within the area to ensure sufficient capacity is available to meet the additional need.
- 5.16 CCC Historic Environment Team – Significant remains were identified in 2004 of Bronze age, Iron Age and Roman date. The ES submitted identifies these assets and the approach to them is supported. Conditions are recommended requiring the submission of a written scheme of investigation to be implemented and post-fieldwork assessment provided.
- 5.17 Environment Agency – No objections. The submitted technical note recommends no buildings or SUDS features are proposed within Flood Zone 3 and no ground level is raised above the 1 in 100 year modelled flood extent. It is for the LPA to consider the application of the sequential test.
- 5.18 Cambs Fire & Rescue – No objection subject to securing the provision for fire hydrants across the site, either through condition or within the S106 agreement.
- 5.19 CCC Growth and Development – The proposal makes provision for 2.3ha of land to be provided for a primary school, but with the size of the neighbouring development to the north that would also need to be accommodated by this site 3ha of land would be required. Provision will need to be made to reduce the impact of noise from Ermine Street. A contribution of £1,202,166 will be required towards Special Education Needs at Alconbury Weald. A contribution of £94,770 will be required towards libraries and lifelong learning.

The Environmental Statement (ES) has not adequately considered the impacts of the development on population and human health and has not included a Health Impact Assessment (HIA) to demonstrate it has otherwise been considered as part of the proposal.

There is concern formal sport provision would not be made available until phase 4 of the development, which could be some years following commencement. There should be a commitment to its earlier delivery to support positive health within the development.

The application has failed to adequately address the need for dedicated, separated off-road leisure and utility roads.

Insufficient commitment has been made in respect of providing sufficient appropriate types and tenures to help meet changing needs over a lifetime.

The Waste Management Strategy meets the requirements of policy CS28.

- 5.20 CCC Education – A contribution of £14,267,291, together with associated land, is required to deliver the first phase of a 3FE primary school. There is adequate space currently available within existing schools to accommodate the early phases of the development, but this is temporary capacity and will not be available in the long term.
- 5.21 Highways England – No objections.
- 5.22 HDC Urban Design – No objections following amendments. The proposed Design Code and Parameter Plans demonstrate the proposed development can be accommodated in a manner sufficient to ensure a high-quality development. Adequate space has been provided to accommodate planting and screening along the school and road boundaries, and open space has been demonstrated to be capable to being integrated sufficiently within the site. It is recommended that the applicant discusses adoptable standards with the County Council in respect to any areas proposed for adoption, to ensure at an early stage they can be designed appropriately. The proposed character areas are supported and will support the creation of strong street scenes and key marker buildings. The amended Design Code and Green Infrastructure Strategy are considered to address all concerns and are supported in design terms.
- 5.23 CCC Local Highway Authority – No objection in principle following completion of the Stage 1 Safety Audit. Conditions are recommended requiring the construction of roads to binder course prior to use, the submission of detailed designs of roads, the submission of long term management and maintenance proposals, that roads are constructed to CCC specification where they adjoin the public highway, that parking and manoeuvring space is retained, that adequate provision is made on site for parking of construction vehicles, that details of construction traffic management are submitted and that the offsite highway improvement works are carried out prior to the first occupation of any dwelling.
- 5.24 HDC Open Spaces Officers – Based on standard calculations at 1000 dwellings of unknown size, approximately 46,428m² of public open space will be required. For a development of this scale 1 NEAP and 1 LEAP would be sought to meet the needs of the development. The number and size of the play areas around the development are considered appropriate, in the context of the large area of open space to the west. The pocket parks should be a minimum of 100m².
- 5.25 HDC Landscape – Recommend amendments to the submitted documents to ensure proposed landscaping can be accommodated and has sufficient space to ensure longevity. *(Officer note; these comments were received in 2021 prior to subsequent multiple sets of amendments that aimed to address them amongst other comments and no further updates have been received from consultees. The Urban Design Officer, as part of their response of no objection, has also had regard to these comments as part of assessing subsequent amendments.)*
- 5.26 Anglian Water – No objection subject to conditions. There is capacity available for foul flows within the Huntingdon Water Recycling Centre for both water treatment and used water. It is noted SUDS have been

indicated as the preferred means of disposing of surface water, in accordance with the drainage hierarchy. Conditions are recommended requiring accordance with approved details.

- 5.27 CCC Transport Team – The impacts of the development as set out within the submitted Transport Assessment are considered to be acceptable and reflect the implications of the development in terms of highway capacity. While it is considered that the introduction of a signalised junction to the Ermine St/A141 roundabout will impact on queues to the roundabout, it will be beneficial to pedestrians and cyclists to cross the roundabout into Huntingdon and appropriate controls can be installed to ensure there are no issues with blocking back through adjacent junctions. On that basis the signalised junction is considered acceptable as it would represent a secondary access point for vehicle traffic but a primary access for non-motorised users.

The schemes shown on the submitted plans have been subjected to the appropriate Road Safety Audit and they are considered suitable designs for the access arrangements and mitigation measures required to support the scheme. The transport mitigations will be required by the occupation of 350 dwellings, which will need to be secured by condition. The submitted Travel Plan should also be secured and implementation not later than 6months prior to first occupation of the development and maintained at least 5 years after final occupation.

The application has shown land needed to support the delivery of a realignment of the A141. The Transport Team are satisfied that the corridor appropriately safeguards adequate land to deliver that A141 to St Ives project.

A contribution of £100,000 is sought to improve and deliver safe walking routes from the development to schools in Huntingdon, to accommodate early phases of the development prior to the completion of the school within the site.

- 5.28 HSE – The proposed development is not within proximity to any relevant assets.
- 5.29 HDC Community – Comments regarding specific requirements for the community facility proposed in terms of its size and capacity, internal arrangements and specific requirements in accommodation.
- 5.30 Internal Drainage Board (IDB) – The confirmation that proposed discharge rates are less than greenfield is welcomed. It is noted that, in the absence of a drainage strategy, no development shall take place within 9m of the watercourse in the Boards District without IDB consent.

6. REPRESENTATIONS

- 6.1 13no. objections received raising the following summarised points material to this application;
- The current road infrastructure would not be able to cope with the additional increase in traffic.
 - There are already congestion issues in the surrounding area, particularly at rush hours, that will be made worse through the development.

- The additional traffic would decrease road safety, including for pedestrians and cyclists.
- Concerns regarding potential flood impacts due to increase of hardstanding within the site.
- Investment is required in the local infrastructure to ensure it is capable of accommodating the development before the development occurs.
- The existing separation between Huntingdon and surrounding villages will be significantly diminished through the proposed development.
- The development would have an impact on the rural environment.
- The proposal would result in the loss of primary agricultural land rather than making use of brownfield land.
- The development would result in the loss of habitat and vegetation.
- The A141 is not able to cope with the increased traffic and will require improvements.
- The development will cause significant noise to surrounding residents.
- There are a number of existing shopping centres and no need for any additional.
- The density of the development will erode the character of the surrounding areas and settlements.
- The hardstanding proposed within the development will adversely impacts areas that currently flood.
- The impact to roads has not been fully considered.
- The development has not taken into consideration developments coming forward in the surrounding area.
- The proposed landscaping will not offset the carbon emissions from the development.
- The proposed accesses will worsen the queues at the A141/Ermine Street roundabout.
- The submitted plan does not address the potential rerouting of the A141 and this application is therefore premature.
- The proposal will result in the loss of good arable land.

6.2 The following points have been raised that are not material considerations. Officer notes are *italicised* for explanation where necessary;

- The proposal would result in the loss of Green Belt land. *(This site is not designated Green Belt, but an assessment of the proposal on the countryside and landscape has been included below in the relevant sections.)*
- Approval would set a precedent for future applications. *(Although this site is part of an allocation applications are determined on their own merit, having regard to relevant national and local policy and material considerations.)*
- The development is not necessary when Alconbury Weald will meet housing need for the area. *(Housing need was established as part of the Local Plan, which concluded there was need for both this site and the Alconbury Weald development amongst a number of other allocations. The Local Plan was adopted in May 2019 and remains up to date and as such the housing need is considered established and not a matter for reconsideration within this application.)*

7. ASSESSMENT

- 7.1 The main issues to consider in the determination of this application are:
- Principle of Development
 - Design and Character
 - Housing Mix
 - Transport Impacts
 - Safeguarding of Land for the Realigned A141
 - Ecology and Biodiversity
 - Drainage and Flood Risk
 - Heritage Impacts
 - Contamination and Air Quality
 - Impacts to Neighbouring Amenity
 - Amenity and Health of Future Occupants
 - Section 106 Contributions and Community Infrastructure Levy (CIL)
- 7.2 The starting point for proposals, in accordance with section 38(6) of the Planning and Compulsory Purchase Act 2004 is that developments must be determined in accordance with the Development Plan unless material considerations indicate otherwise.

Environmental Statement

- 7.3 This application is “EIA Development” in accordance with the Town and Country Planning (Environmental Impact Assessment) Regulations 2017 (EIA Regulations) and is accompanied by an Environmental Statement (ES). The ES was formally scoped by the LPA in January 2018 for a materially similar development. The full ES has been subject to formal consultation as part of the consultation on this application and as part of subsequent consultations on amendments.
- 7.4 The ES comprises 3 parts. Part 1 is the Environmental Statement itself. Part 2 is the associated appendices. Part 3 is a non-technical summary. The ES addresses a number of matters, including those under the following headings;
- Traffic and Transport
 - Noise and Vibration
 - Air Quality
 - Landscape And Visual
 - Cultural Heritage and Archaeology
 - Ecology
 - Water Resources, Flood Risk and Drainage
 - Ground Conditions and Contamination
 - Lighting
 - Socio-Economics
 - Cumulative Effects
- 7.5 The provisions of the ES have been assessed within the relevant sections in the report below. As part of the consultation, sections of the ES have been reviewed by relevant specialist consultees, considered to be sufficient to meet the requirement as of Regulation 4 of the EIA Regulations that require an LPA to have access as necessary to sufficient expertise to examine the ES.

- 7.6 It is for the LPA to ensure that through the development management process the mitigation recommended in the ES is implemented and managed.

Principle of Development

- 7.7 The application site is located within the countryside, where policy LP10 states development will only be supported in a limited number of opportunities as provided for in other policies within the plan, and within the Huntingdon Spatial Planning Area, one of the most sustainable settlements in the District. In this instance, the site forms part of a site allocated for development within the local plan, under policy HU1, and therefore is considered a specific opportunity for development and further assessment of impact on the countryside and SPA is not required.
- 7.8 The allocation of HU1 as a whole makes provision for;
- Approximately 1440 homes
 - A potential realignment route for the A141
 - Approximately 1000m² of shop floorspace
 - Food and Drink retail
 - A primary school and other social and community facilities to meet the needs of the development
 - Strategic Green Infrastructure.
- 7.9 The application site itself covers only part of the allocation, with the remainder of the allocation falling under a separate application (ref. 20/00847/OUT, for up to 648 dwellings). Para. D.8 within the Local Plan states that a 10% tolerance of the local plan figure is considered to be reasonable and notes that residential capacities are indicative numbers based on initial capacity assessments, rather than detailed assessment such as would be put forward as part of an application. It should also be noted that this application is put forward on an “up to” basis, by which there is a maximum number within the proposal, but a lower number may well come forward as the scheme progresses into the detailed design stage.
- 7.10 Officers note the range of uses proposed within this site, in accordance with those identified within the allocation, and the indicative site plan demonstrates these can be accommodated within the site. The Planning Statement calculates the level of density within the residential areas is approximately 40 dwellings per hectare, considered to be an appropriate density given the site represents development on the edge of a town.
- 7.11 The proposed local centre includes a small-scale range of shops and amenities falling within use classes A1 to A5 and an element of community facility falling within use class D1. It is considered the small-scale floorspace allowance that would accommodate these uses is appropriate and would support a development of this scale in line with the allocation and policy TC5 but would not undermine the primary shopping areas within the town centre. It is noted that, as this application was submitted prior to the change of the Use Classes Order 1987, and as such is subject to transitional arrangements that maintain the old use classes. Notwithstanding, any consideration has had regard to the impact of the actual use, as any use will transition into its new equivalent following its commencement.

- 7.12 As the site is an allocation within the Local Plan, and that has established the principle of this proposal in this location, it is considered the principle of development is acceptable in accordance with policies LP7, HU1 and TC5. The proposal therefore falls to detailed considerations within the following section.

Design and Character

- 7.13 The application site is currently located within designated countryside, on the edge of the town of Huntingdon, and within the Central Claylands Landscape Area, as identified in the Townscape and Landscape Assessment 2022. The site noticeably slopes down towards the southeast, bordered by the existing alignment of the A141. To the northwest, shared with the A1307, the site is largely open with a notable drop in ground levels. Currently, the A141 forms a distinct boundary to the edge of the town to the southeast, between the existing built-up area and the application site. Along the northwest boundary is a dense, established tree belt with a small number of gaps along its length that provide access to a right of way.
- 7.14 It is noted that this application is in outline form and that future applications will be required with regards to the matters reserved, namely appearance, landscape, layout and scale. At this stage, however, consideration is to be had to whether, in light of the design principles established in the design code, the parameter plan, and the indicative layout, that an acceptable standard of design can be achieved within the development.
- 7.15 The Urban Design Officer has raised no objections to the proposal, following amendments. They consider the submitted details have adequately demonstrated the development can be accommodated in a satisfactory manner, and the Design Code and Green Infrastructure Strategy will provide a high-quality built environment.
- 7.16 It is noted that the latest comments received from the Landscape Officer requested further amendments. However, these are substantially dated, having been received prior to multiple sets of amendments. They comments are clear on the specific areas that need to be addressed, referencing specific paragraphs within the documents, and officers consider the amendments have satisfactorily addressed these comments.
- 7.17 The application has been accompanied by a Design Code to inform its detailed design at reserved matters stage. Design Codes are a set of illustrated design requirements that provide specific, detailed parameters for the physical development of a site or area. The graphic and written components of the brief should be proportionate and build upon a design vision, such as a masterplan or other design and development framework for a site or area. Their content should also be informed by the 10 characteristics of good places set out in the National Design Guide (PPG para. 001 Reference ID: 26-001-20191001).
- 7.18 The aim of a Design Code is to provide clarity over what constitutes acceptable design quality for a particular site or area; Design Codes should however not hinder deliverability of the development and must also be flexible enough to ensure that they remain appropriate throughout the construction period of the development, and beyond.

They function to prevent a piecemeal design approach that leads to clear clashes in character in the event of multiple housebuilders.

- 7.19 The Design Code includes all elements of the built environment including:
- Spatial components that take up land, including Green Infrastructure (open spaces and landscaping), Movement and Access (roads, paths and cycle routes), Commercial and Residential Built Form (the buildings) and Community Uses Built Form.
 - Non spatial components including elements such as architectural detailing, building materials, surfacing materials, street furniture, boundary treatment, public art and tree planting, and technical guidance on matters including parking provision, bin and cycle storage, water management and ecological enhancement.
- 7.20 In terms of design principles, the proposal indicates an average density of 40 dwellings per hectare(dph) across its residential areas, and it is noted that local residents have objected on the basis of density. Officers note that the proposed density is in line with standard densities common in Market Town developments, and that no supporting reasoning for a lower density has been put forward to indicate it would not be appropriate in this instance. In considering the best use of land, the status of Huntingdon as one of the largest settlements in the district and the various uses and land requirements the development will need to accommodate, it is considered the proposal reflects an appropriate density that would adequately enable variation across the site and reflects the location on the edge of the settlement while having regard to its wider character.
- 7.21 While the layout will fall to reserved matters stage, the submitted Design Code generally seeks to demonstrate three areas within the site that would accommodate residential uses, generally indicating parcels. Seven character areas are spread across these that would provide for appropriate densities and architectural approaches at appropriate points in the development, with a central green space.
- 7.22 The use of these character areas reflects the position within the site as a whole, to ensure the approach to built form is reflective of the position within the development, rather than any individual aspiration of a developer. The character areas established here are considered appropriate responses to the hierarchy of streets within the development. They balance the need for denser, more formalised frontages along primary streets with a looser grain towards the edge of the development, supporting the transition into the countryside.
- 7.23 The local centre to the northern edge is prominently located along Ermine Street, and close to the access of the development. Officers note that the centre will also serve the adjacent area of the allocation to the north of Ermine Street. While it is therefore somewhat on the periphery of this application, it is considered to be well located in the context of the allocation as a whole, being more centrally located in that context.
- 7.24 Similarly, the position of the primary school adjacent this local centre is considered appropriate in being able to serve the allocation as a whole. The movement corridors in the Design Code require appropriate pedestrian routes that will support a range of options for access to this

area such that the peripheral location is considered appropriate in the context of the development. It is anticipated this school will come forward as a separate full application by the County Council, as is the approach on other developments. The details in the design code are therefore minimal on this aspect, to give them the ability to consider the best design response to the needs of the school at the time it comes forward.

- 7.25 In terms of the architectural design within the residential character areas proposed, these predominantly look to reflect the transition between a more formal central and southern areas and the landscaped edges of the development. This is reflected in the changes in scale and density of the areas, utilising more prominent and formal architectural detailing and changing predominant materials. Officers consider the details provided in the character areas will create appropriate parameters to support high quality design, while enabling sufficient differentiation across the area to reflect the appropriate character for that part of the development and respond to the surroundings.
- 7.26 Officers note the formal open space to the western corner, and the potential that this will become disconnected by virtue of the realigned A141, though this remains a point that the Highway Authorities will need to consider as part of the A141 scheme. However, having regard to the principles of good design, officers consider there is still a reasonable likelihood that a satisfactory access arrangement can be accommodated and maintained in that event, that would not result in the formal open space becoming physically inaccessible to potential users.
- 7.27 The design code also sets out the approach to parking and movement corridors. Parking typologies reflect the general character areas but aim to limit the dominance of parking within street scenes that would be to the detriment of amenity and safety, and set standard parking space calculations depending on the size of dwellings. The code also includes high level design details of roads, in terms of widths and materials, and suggestions for traffic calming measures appropriate to each type of road. The code also includes design arrangements for non-motorised users, setting out the widths and approach to different rights of way or pedestrianised areas. It is considered the Design Code arrangements in terms of movement and access have made appropriate provision to ensure well designed movement corridors that accommodate a range of users and are not adversely impacted by dominant parking arrangements.
- 7.28 With respect to landscape, the submitted Green Infrastructure Strategy (GIS) also utilises landscape character areas, changing from more formalised to more natural planting as appropriate to the level of formality of the built form. The GIS also provides a planting palette, though the detailed planting proposals will form part of future reserved matters proposals. This generally seeks to promote biodiversity, preferring native species, but noting that the detailed planting will be informed by local suitability to maximise the benefit or as appropriate in the context of the character area. Planting along the peripheries will aim to support wildlife corridors and bridleways.
- 7.29 In order to ensure the development retains the principles established within the Design Code and Green Infrastructure Strategy, and reflects the characters established in those documents across the development, a condition is necessary to require each reserved matters application to

include a statement demonstrating how it has accorded with these documents and to justify any variances from it.

- 7.30 On the whole, having regard to the comments of consultees, and subject to the condition set out above, officers consider the proposal has made suitable provision to ensure a high quality public realm can be achieved, in accordance with policies LP11, LP12, TC2, TL2, NE2, NE3, BE1 and BE2.

Housing Mix

- 7.31 The Cambridgeshire and West Suffolk "Housing Needs of Specific Groups (2021) provides guidance on the mix of housing required to meet the needs of Huntingdonshire. This gives broad ranges reflecting the variety of properties within each bedroom category. This indicates a requirement for the following ranges needed; 0-10% 1 bedroom, 20-30% 2 bedroom, 40-50% 3 bedroom, 20-30% 4+ bedroom dwellings.
- 7.32 The applicant has requested that the mix applied to the development is that which formed part of the Strategic Housing Market Assessment mix at the time of the original local plan allocation, namely 4% 1bed, 16% 2bed, 50% 3bed and 30% 4+bed, on the basis that the viability position (set out elsewhere in this report) is predicated on that mix. It is noted that the only element that would not accord with the latest identified mix is the provision of 2bed dwellings, at 4% lower than the minimum threshold, equating to 40 dwellings of the total permitted, though this is offset by the provision of 1bed units that is 4% higher than the lowest threshold. The 3+bed units are maximised, and this is the primary element that will support the viability position on the site.
- 7.33 Policy LP25 provides some circumstances where exceptions may be made to the identified mix, but none of these are relevant in this instance. That said, this site was allocated on the basis of a different mix which included a higher proportion of larger units, and the underlying viability assessments that supported the local plan and that allocation would have considered the development on that basis. The difference between the requested and the latest identified mix is not considered to be particularly significant in the scale of the development as a whole. As the other sizes meet the identified requirements, and as the 1bed units are otherwise above the lowest threshold, officers do not consider that the lower amount of 2bed dwellings is materially departing from the Local Plan provision, and on the whole the proposal would still make a positive contribution in terms of its mix, enabling a range of occupants. The mix would ultimately be controlled through condition, which will ensure that the agreed mix remains throughout the course of the development.
- 7.34 The requirements within policy LP25 of Huntingdonshire's Local Plan to 2036 relating to accessible and adaptable homes are applicable to all new dwellings. This states that all dwellings should meet Building Regulation requirement M4(2) 'accessible and adaptable dwellings'. These include design features that enable mainstream housing to be flexible enough to meet the current and future needs of most households, including in particular older people, those with some disabilities, and also families with young children. Homes meeting M4(3)(a) 'wheelchair user adaptable dwellings' include further design features so that homes are capable of simple adaptation to meet the

needs of wheelchairs users, or M4(3)(b) which are built to fully 'wheelchair accessible' standards where affordable housing for a known user is to be constructed. Policy LP 25 seeks a further uplift above the M4(2) 'accessible and adaptable' standard for a proportion of new dwellings unless site specific factors demonstrate achieving this is impractical or unviable. The starting point for negotiations for provision of M4(3)(a) 'wheelchair adaptable dwellings' is set at 9% for market dwellings and 30% for affordable dwellings. As this application is in outline, with only access details submitted for approval, a condition would be necessary to ensure that the submission of reserved matters applications comply with this policy.

- 7.35 Subject to the conditions set out above, officers consider the proposed development would accord with policy LP25.

Transport Impacts

- 7.36 This section is concerned with the impacts of the proposal itself, in terms of the level of vehicle movement associated with its development, appropriate mitigation and related aspects. Matters in respect to the potential future realignment of the A141, and safeguarding of land for that purpose, are discussed in a separate section below.
- 7.37 The application proposes a roundabout access onto Ermine Street to the west, and a signalised junction to the existing A141 to the south including dedicated turning lanes. The application also includes network interventions, including controlled pedestrian crossings across the A141, provision of footway/cycleways to Ermine Street and Stukeley Meadows, and wider junction improvements as follows;
- Extension to the two lane approach on Ermine St to the Ermine St/Stukeley Road roundabout.
 - Extend left turn lane on the A141/A14 junction and adjust cycle time to eastern controller.
 - Increase controlled cycle time at St Peter's Rd/Stukeley Rd/Ermine St.
 - Alterations to carriageway and entry width geometry of the Ermine St/A1(M)/B1043 roundabout.
 - Optimisation of signals at Edison Bell Way/Huntingdon rail access junction.
- 7.38 The County Council as Local Highway Authority (LHA), and the Transport Assessment Team (TAT) have raised no objection to these access arrangements and consider there has been adequate demonstration the accesses can be provided safely. They have recommended a number of conditions, and officers note that further agreements under the Highways Act 1980 will be required in terms of the detailed design of accesses to the highway. Following further details, no objections have been received from technical consultees in respect to the network improvements necessary to ensure there is capacity for the development.
- 7.39 With respect to the proposed accesses, these have been subject to a road safety audit with the County Council that has considered the design in principle. That process has confirmed the arrangements are suitably safe, and while further detailed design work will follow as part of separate legislative processes it is considered sufficient at this stage to confirm the proposed access arrangements would meet appropriate standards.

- 7.40 Officers note objections have been raised by local residents to the development on the grounds that the proposed access arrangements are not safe, and that there will be an impact to traffic through the additional traffic arising from the proposal. Huntingdon Town Council and Stukeleys Parish Council have also made objections on the basis of highways impacts and adverse impacts from traffic generation.
- 7.41 The Ermine Street access, together with associated works along Ermine St to the roundabout, would be completed as part of the first phase, prior to occupation. This is considered an appropriate trigger as it would provide initial mitigation at the outset of the developments operational impact and allow the first phase to commence. The secondary access is proposed to come forward prior to any phase beyond the first, at 350 dwellings, and will be a signalised junction on the A141 with dedicated turning lanes.
- 7.42 With response to network capacity, the application has been accompanied by a Transport Assessment (TA) that, following further modelling and an addendum transport note, has been supported by the County Council as a technical consultee. The assessment indicates that sufficient capacity can be created within the network through intervention to support the development. The TAT have noted that, while they have supported the application, there is likely to be an increase in queues along the A141, but that this is offset by the significant increase in accessibility for pedestrians being able to cross the road, and on balance the impact to queues would not be considered severe such as to support a refusal reason.
- 7.43 Officers note the worst-case increase in queues would be approximately 40m beyond the background scenario, to the eastbound approach of the A141/Ermine St Roundabout. This is the greatest increase, with others being closer to 20m average increase beyond background to other junctions and all time periods. On the basis of a 6m front bumper to front bumper car length, a 40m distance would equate to approximately 7 cars, with all other increases being notably less. Noting that the worst-case increase is to a single arm of the roundabout, and all others are much lower, officers agree with the findings of the Country Transport Team that the increase is not considered severe in the context of NPPF para. 111, and there would be a significant material improvement in non-motorised user connectivity.
- 7.44 The proposed network interventions would need to be secured and would therefore require conditions for each element, to require the works to be completed by appropriate trigger points. Noting these junctions fall outside of the application site, but under the control of the Highway Authority who have commented on this application, it is considered reasonable that these can be secured by condition to require delivery. A condition is also recommended that a travel plan is approved prior to occupation, to promote alternative, sustainable modes of transport to the private car.
- 7.45 It is noted that there is some overlap in the network interventions needed to support this development and those secured under the Alconbury Weald Development (ref. 1201158OUT). Notwithstanding, that development also has a significant number of other interventions, given its scale. It is necessary to secure delivery as part of this application, but

officers consider this will be subject to an appropriate wording to ensure the delivery of the improvement is the requirement, as opposed to limiting it to this application itself.

- 7.46 Officers note the recommended conditions by the Local Highway Authority and consider these are required to ensure the development is safe for its lifetime in highway terms. Conditions are also required in relation to the offsite works and the access proposals in order to ensure they are carried out at appropriate points in the development, and noting these are to County Council roads it is considered these can be achieved by condition.
- 7.47 The objection from the British Horse Society is noted, however the County Rights of Way Team have raised no objection subject to upgrade works and the provision of rights of way within and adjacent to the site. There is a need to realign an existing Public Right of Way (PROW), within the site, in order to accommodate a high quality design within the scheme. This realigned PROW will run along green links, in order to maintain the general alignment, and an additional perimeter bridleway will be provided to maintain an improved connection to wider green space. In addition, offsite improvements to footpaths 230/19 and 230/5 will be required, to rationalise and improve these connections that run concurrently. A new Bridleway connection will be created from the western corner of the site to adjoin Bridleway 230/26 that connects to the wider network, and this in particular is considered to give a significant improvement to countryside connectivity for future residents.
- 7.48 A condition will be required to deliver Right of Way improvements within the site, and a contribution (considered in more detail below) will be needed to designate and improve the offsite Rights of Way. Officers consider these are necessary to make the development acceptable.
- 7.49 On the whole, therefore, and subject to the conditions and contributions identified, it is considered the proposal would accord with policies LP4, LP16, LP17, TL2 and TT1.

Safeguarding of Land for the Realigned A141

- 7.50 This section is concerned with the provision and safeguarding of land for a future realignment of the A141, including any associated points of context. Matters relating to the highway impacts of the development, in terms of highway safety, transport network capacity and vehicle movement, are covered in the previous section.
- 7.51 Policy HU1 is explicit that the development of this land is acceptable on the provision that sufficient land is safeguarded to facilitate a realigned A141, amongst other requirements. It should be noted that this requirement does not specify the land is solely for the roadway itself but should be taken to include land that may be required in association, for example any land required to allow sufficient drainage, landscaping or non-motorised user (NMU) route.
- 7.52 It should also be noted the consideration of the A141 realignment itself, including the detailed design of the road, is not part of this application and will fall to a separate determination under the relevant legislation should a proposal be further developed. Consideration is solely limited

to the sufficiency of the identified land to reserve a future route should there be commitment to fund the delivery of such a road.

- 7.53 TAT, as the technical specialists who will be responsible for the delivery of the realigned A141, have provided plans of a corridor that has been assessed as sufficient to accommodate a road. This has been assessed on a worst-case scenario of a 'dual carriageway' with segregated active travel routes, landscaping, and potential noise mitigation measures.
- 7.54 It is noted that the road corridor where it lies within this site is at a more detailed stage than some of the other proposals, and the applicant has had opportunity to feed into the design, including landscaping, drainage and active travel links. While there is some overlap in the corridor and other elements of the development shown on the submitted parameter and indicative layout plans, officers note that these are not preclusive of either element of the development meeting their requirements. These are considered indicative in that they show potentially how the development might respond to no road coming forward, noting that it is not a fully committed project at this stage.
- 7.55 In terms of protecting the corridor in the long term, officers consider that this would require provision within the S106, to ensure that it is available for at least the medium term, and with appropriate release mechanisms in the event that the road does not come forward. It is not considered that a condition is appropriate in this instance as it relates to a wider project. However, subject to appropriate provisions, officers consider there is adequate demonstration that land has been safeguarded for a potential A141 realignment, in accordance with policy HU1.

Ecology and Biodiversity

- 7.56 The Wildlife Trust and Natural England have reviewed the application documents and raise no objections subject to conditions securing the appropriate mitigation. Natural England also notes that, without mitigation, they consider it likely the proposal would result in harm to designated sites without mitigation, in the form of the onsite open space. It is noted that the Wildlife Trust has not commented in respect of the latest net gain calculations provided, which reinforce and confirm those originally submitted remain valid and fit for purposes. .
- 7.57 The application site comprises currently undeveloped agricultural land, bounded on three sides by existing roads. There are no ecological designations on the site itself, but officers note a number in the surroundings, including the Stukeleys Railway Cutting Site of Special Scientific Interest (SSSI) to the north, Brampton Racecourse SSSI to the southwest, Hinchingbrooke Gravel Pits County Wildlife Site (CWS) to the south, and the Portholme SSSI and Special Area of Conservation (SAC) to the southeast.
- 7.58 The submitted ES has made an assessment of the potential impacts on these designations. It considers that the impacts from the development are likely to be insignificant as these sites are either not accessible to the general public or have existing management plans in place to limit the impacts of the proposal. Together with the onsite open space that would be secured, as per the comments of Natural England, officers consider the development includes sufficient mitigation in its own right

to limit potential recreational pressures on these designated sites in the context of the existing management arrangements in place.

- 7.59 There are a number of protected species in and surrounding the site that have been identified within the submitted ecological assessments and ES, and the application has been accompanied by an updated biodiversity net gain calculation and confirmation these assessments remain fit for purpose, noting the age of the original submission.
- 7.60 It is noted that the presence of badgers has been identified in relation to this development. In accordance with NPPG guidance, and under the Protection of Badgers Act 1992, information on the location of badgers is kept confidential, to prevent harm to the species. As such, officers have considered protected species as a whole, and have not split these out for the purpose of this report in order to provide a comprehensive assessment without disclosing locations of badgers.
- 7.61 The submitted ES notes a number of protected species and habitats in and surrounding the site that may be adversely affected either directly or indirectly as a result of the development unless appropriately mitigated. The proposed mitigation measures generally seek to avoid, mitigate, and compensate for impacts, in that order, and during both construction and operational phases of the development. On-site habitat and areas specifically identified as serving protected species will be largely retained, and the ES recommends buffer zones around habitat and habitat corridors where possible.
- 7.62 It is noted that there is likely to be a displacement in respect of some habitat, but the ES notes the low levels of use are such that this loss is considered to be a minor negative impact. The application proposes substantial mitigation planting, as considered below in relation to net gain, and while there is some loss, officers consider this has been mitigated for through that compensation in relation to the relevant protected species.
- 7.63 There is a high potential for uncontrolled lighting to result in impacts to the protected species and their habitat, as noted in the ES. A range of mitigation measures are indicated as ways of addressing these impacts, though detailed lighting proposals will follow at an appropriate time. Officers do not consider there is any reason that an acceptable lighting arrangement could not be achieved as this would be in the control of the developer. However, it is considered appropriate to condition the details to come forward as part of each reserved matters parcel, to ensure it does not undermine the ES.
- 7.64 It is acknowledged that the Wildlife Trust requested information on Biodiversity Net Gain to be submitted prior to determination; the application is accompanied by net gain calculations, indicating a net gain of 18.61% in habitat units and 261.44% in linear units. This predominantly includes diversifying planted species, which in turn supports a wider range of fauna.
- 7.65 Policy LP30 notes that development should not lead to a net loss in biodiversity, and where it is possible should provide a demonstrable net gain. Officers note a baseline of 10% is generally considered appropriate for development, having regard to emerging national guidance and legislation. This proposal, having demonstrated significantly in excess of

that, is considered to represent a significant improvement in biodiversity within the site, and can be secured by condition, to require each reserved matters application to provide an audit of net gain to meet the overall requirement. While the Wildlife Trust have not commented on calculations originally provided, or the latest information submitted, the documentation follows a standard approach that has been carried out on sites elsewhere within the District. Noting that no objections have been raised in principle to the development of the site, it is considered this approach is acceptable in this instance.

- 7.66 Subject to the conditions set out above, it is therefore considered the proposal would accord with policy LP30 in respect to ecology and biodiversity.

Drainage and Flood Risk

- 7.67 The application site predominantly falls within Flood Zone 1 and is at a low risk of flooding from surface water sources. An area of the site to southwestern corner, close to the A1307, falls within Floods zones 2 and 3. Two bands run through the site generally north to south identified as being at risk of flooding from surface water from a 1 in 1000-year event.
- 7.68 The application is accompanied by a Flood Risk Assessment, which includes consideration of surface water sources, and a Utilities Assessment, that includes assessment of foul sources. The ES also includes a section on Water Resources, Flood Risk and Drainage though those elements related to potential water pollution have been assessed elsewhere in this report. The LLFA, IDB, Environment Agency and Anglian Water have raised no objections, subject to conditions requiring detailed designs of drainage proposals to be submitted. It is noted that local objections have been received on the basis that the proposal will lead to increased risk of flooding elsewhere.
- 7.69 With respect to flood risk from fluvial sources, an area of the site to the western corner, generally running concurrently with the A1307, is located within Flood Zones 2 and 3. The application proposes to retain open space within this area, and not any built form or further attenuation features. As the application site is allocated in the Local Plan and has been subject to in principle assessment as part of that process, it is not considered necessary to apply the sequential and exception tests set out in the NPPF and NPPG. The main consideration is whether the proposed development can be made safe from the impacts of flooding and would not result in an increase in flood risk elsewhere.
- 7.70 The application generally seeks to locate development outside the flood zones, with a section of the allotments and sports pitches potentially located within those areas. As these would generally be retained as open space, it is unlikely there would be any significant level of hardstanding or built development, though there may be some element to support the allotments. This is capable of being controlled through condition, to require any development to be accompanied by appropriate drainage details to ensure it would not result in flood risk, but the use of this part of the site as amenity open space is considered to be Water Compatible development in accordance with Annex 3 of the NPPF such that it is not at adverse risk of flooding. For those same reasons, its use for that purpose is not considered likely to result in an increased risk of flooding elsewhere in or around the site.

- 7.71 In terms of surface water, the application proposes to manage surface water drainage through SUDS in accordance with the hierarchy in the adopted Flood and Water SPD. Predominantly, this would be through attenuation features and restriction of discharge rates into the water network where it is not possible to discharge through ground infiltration. In principle, the LLFA and IDB have raised no objection to this, subject to conditions requiring the detailed designs to come forward.
- 7.72 The proposal would create three catchment areas within the site and has demonstrated the storage capacity needed to accommodate the surface water from that part of the site before discharge into surrounding water features, namely Barracks Brook to the southwest corner of the site and a perimeter drain to the southeast, adjacent the existing A141. These are owned and maintained by IDB and CCC respectively, and noting their role as consultees, it is considered these discharge points are achievable.
- 7.73 Officers note the proposed development is likely to come in phases and over a reasonably substantial length of time. It is therefore considered that the LLFA's recommended condition, while in principle is necessary, should be modified to require details at reserved matters stage, in accordance with a site wide strategy that is agreed first. Subject to that, however, officers consider the application has sufficiently demonstrated surface water can be readily accommodated within the development without harm to surrounding areas or future occupants, and without resulting in increased flood risk.
- 7.74 The application proposes to connect foul flows to the sewerage network and has submitted a technical note demonstrating there is existing capacity, and Anglian Water have raised no objections in principle, though note the developer will need to serve notice under the Water Industry Act 1990. That process is separate to planning legislation and is therefore not material to this application. Officers note the connection to the existing foul network and consider that route of discharge is sufficient to ensure the operational aspect of the development would not give rise to adverse impacts to the environment through improperly discharged waste.
- 7.75 Officers note there is potential to increase risk of flooding during the construction phase, namely through temporary hardstanding necessary for construction compounds. Officers note the need for a construction management plan to be submitted as referenced elsewhere in this report and consider that document is the appropriate place to require a planned approach to manage water impacts, both in respect of drainage and the potential impacts of protect water sources from contamination during construction.
- 7.76 On the whole, and subject to the conditions noted above, officers consider the proposal would accord with policies LP5, LP6 and LP15.

Heritage Impacts

- 7.77 Sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 require that special regard is had to the desirability of preserving particular features of Listed Buildings and Conservations Areas and great weight should be afforded to the assets conservation.

The Ancient Monuments and Archaeological Areas Act 1979 protects the archaeological heritage of Great Britain by making provision for the investigation, preservation and recording of matters of archaeological or historical interest.

- 7.78 The submitted ES includes a section on Cultural Heritage and Archaeology which has considered the impacts on heritage assets. In terms of designated assets, this has noted the Grade II Dwellings at 32-36 Ermine St, the Grade II Country House at Camelot, the Grade II Cottage at Home Lea, the Grade II* St Bartholomew's Church and Huntingdon Conservation Area.
- 7.79 With regards to archaeological deposits, it is noted that the site lies within an area of high archaeological potential, with the ES identifying significant remains of Bronze Age, Iron Age and Roman date, as noted by the County Historic Environment Team (CHET).
- 7.80 No objections have been received from either the Conservation Officer or Historic England. CHET has raised no objection in principle, subject to securing a programme of archaeological works and post excavation assessment through conditions.
- 7.81 NPPF Paras. 194 to 202 require that applications provide descriptions of the significance of heritage assets, including their settings, and provide a clear and convincing case for any harm to such assets. Special regard is to be had to the preservation of such assets, and where the development leads to any harm, that harm must be weighed against the public benefit of the proposal.
- 7.82 With regards to designated heritage assets, it is noted that the ES has limited its assessment to those where the significance may be affected through development in their setting. Officers note that there are listed buildings in close proximity, for example the Grade II listed milestone to the north of the site, but these are surrounded by intervening development, or by virtue of landforms have limited interrelationship with the site. As such, it is considered the ES has suitably considered those assets that are likely to be impacted.
- 7.83 The development is some distance from these assets, with most sitting beyond 900m, albeit the Conservation Area sits closer with substantial intervening development in the form of the Stukeley Meadows estate. That distance is considered to be sufficient to serve as mitigation that would protect the significance of these heritage assets through development in their setting. Officers therefore consider the proposed development would not give rise to any material harm, or that at worst it would be to the lower end of the 'less than substantial' spectrum in accordance with NPPF para. 202 and outweighed by the public benefits of bringing forward the allocated site and delivering housing within the locality.
- 7.84 With regards to archaeological deposits, officers note the ES recommends a programme of investigation and assessment, which is supported by CHET. Such works would include uncovering those remains and recording them, either in situ or deposited as appropriate.

- 7.85 Officers consider this can be secured by standard conditions, and subject to such the proposal is considered to accord with policies LP34 and BE3.

Contamination and Air Quality

- 7.86 The application site comprises agricultural land, and historic maps and planning history indicate there has been no notable intervening uses other than for agriculture. There are a number of notable uses in the surrounding area, including a petrol filling station approximately 130m to the east, an industrial estate to the north-east, a residential estate to the south and a pair of dwellings to the north. There is an open sided barn on the site in the western corner that appears to be part of the agricultural use on site. The submitted ES notes that there is an expectation of some contaminants being present due to unknown infilled land, made ground and the disused barn.
- 7.87 In terms of air quality, there are no notable uses on the site that are likely to give rise to impacts, but the site adjoins the A1307 on its western edge and the current alignment of the A141 on the southern edge. A designated Air Quality Management Area sits approximately 50m to the south of the southern corner of the site.
- 7.88 The Environmental Health Officer has raised no objections in principle to the development in terms of air quality, subject to securing the mitigation suggested within the ES. They note that further detail may be required at later stages as elements of the development come forward.
- 7.89 With respect to contamination, the submitted ES has set out the potential risks of contamination during construction and operation. It includes recommendations to assess and remediate for potential contaminants, having regard to those expected within the site. The ES proposes to mitigate contaminants through detailed site investigation and then remediation proposals based on its findings. This would include the potential for on-site remediation in accordance with a Materials Management Plan that would form part of any wider remediation proposals. Subsequent verification would be required to ensure the remediation has been effective and removed the risk to human health during construction and occupation stages. Such verification testing will also mitigate the potential for contamination of the water environment.
- 7.90 The ES recommends a Construction Environmental Management Plan (CEMP) in order to mitigate potential contamination during construction. These are supported by the Environmental Health Officer and are standard approaches to mitigation in respect of ground and water contamination. Officers consider these conditions are reasonable and necessary to ensure the development is fit for purpose and would not result in a risk to human health.
- 7.91 With respect to air quality, the submitted ES notes there are no on-site uses that would give rise to poor air quality, but the site is in close proximity to the Huntingdon Air Quality Management Area (AQMA), designated due to exceedance of Nitrogen Dioxide (NO₂) levels. It is anticipated, following the completion of the A14 realignment scheme, which takes vehicles away from the now A1307 adjacent the site, that this will reduce the impacts of emissions. The predominant generator of

particulate matter and emissions that may affect quality in the surrounding area of the site is traffic.

- 7.92 Officers note that the latest AQMA Annual Status Report published by HDC indicates receptors in the Huntingdon AQMA are recording below the exceedance levels of NO₂, and this is expected to continue now the A14 has relocated and there has been a change in travel behaviour since the Covid pandemic.
- 7.93 Notwithstanding, the application itself does not propose any uses that are likely to give rise to emissions in such quantities or due to the nature of the use that are considered likely to result in harm to air quality. The uses proposed are reflective of typical residential areas, and the nature of traffic generation is likely to be spaced out over the course of rush hours. While it is noted that TAT have indicated a likely increase in queue times at the Ermine St/A141 roundabout, this is not considered to be at such a level that it will result in an adverse impact to air quality beyond existing baselines.
- 7.94 It is considered likely that there will be some level of air quality impact during construction, predominantly through dust, with some emissions arising predominantly from vehicle movement and use of equipment. The ES makes a number of recommendations to mitigate for these construction impacts. Officers note that a CEMP condition has been recommended, as set out above, and this would also include the measures recommended in the ES.
- 7.95 In light of the comments of the Environmental Health Officer, having regard to the measures within the ES and subject to the conditions set out above, officers consider the proposal would not be at an unacceptable risk of impacts through contamination, and would not give rise to harmful levels of air quality. The proposal would therefore accord with policies LP36 and LP37.

Impacts to Neighbouring Amenity

- 7.96 This application site is separated from the nearest neighbouring residential properties by existing roads, most particularly the A141 to the southeast that bounds the Stukeley Meadows estate. There is a pair of residential dwellings to the northwest of the site, nos. 1 and 2 Brookfield Farm Cottages, separated by the existing, established tree belt, which measure approximately 30m in depth and would be retained as part of the development.
- 7.97 The application is in outline form, and as such the detailed design will fall to future reserved matters applications. It is therefore not possible to be conclusive in relation to matters of overlooking, overbearing, or overshadowing impacts. The correct test at this stage with an outline planning application is whether it is reasonably likely the development could be accommodated without adverse impacts to neighbouring residential amenity.
- 7.98 Officers consider that, given the scale of the development and the separation from neighbouring property there is no reasonable basis to conclude an acceptable relationship cannot be accommodated with neighbouring offsite property in terms of overlooking, overshadowing or overbearing impacts. The development proposes uses that are largely

reflective of typical residential locations, and as such there is not considered to be any basis to expect the development would give rise to noise or emissions that would otherwise impact surrounding amenity.

- 7.99 With regards to construction impacts on surrounding amenity, officer note the submitted ES indicates a major effect on surrounding residential properties in the short to medium term without mitigation. It notes the submission of a CEMP through condition, which would be required as noted elsewhere in report. It is noted that the most impactful element of the construction phase will be at the outset, during the foundation phase where there is the heaviest machinery on site. That said, this is likely to be spread across the course of the development as the buildout works through phases. The ES indicates potential mitigation measures that would be included in the CEMP, including noise limits, compliance with industry standards and inclusion of appropriate review mechanisms. Any CEMP will also include an appropriate point of contact for local residents who may be experiencing issues, together with proposals to ensure resolution. It is considered that this is a reasonable approach to mitigate the construction impacts of the development on surrounding amenity.
- 7.100 Subject to the conditions set out above, it is considered the proposal is therefore considered to accord with policy LP14 in respect to offsite neighbour amenity.

Amenity and Health of Future Occupants

- 7.101 The application is in outline form, and as such any matters of detailed design cannot be determined at this stage. Consideration should therefore fall to whether it is likely, having regard to the details available, that satisfactory arrangements can be made for future occupants with regards to amenity and health.
- 7.102 In respect to amenity, given the scale of the application site, officers consider that there is a reasonable likelihood that residential units can be accommodated that provide sufficient amenity space and are not adversely impacted through overlooking or loss of light. It is noted that, in any event, occupants would be aware of the layout and relationship of the site and would be able to make an informed decision on how that relationship would relate to their personal needs.
- 7.103 The application lies in close proximity to the existing A141 and the A1307. While the latter has a significantly reduced level of noise compared to its historic use as the A14, these two roads are capable of accommodating a substantial level of vehicle movements. The application has considered baseline noise levels, and noise levels to 2036, in line with the time period of the adopted local plan, including the potential impact from a realigned A141. The Environmental Health Officer has raised no objections to the proposal on noise grounds, subject to a condition requiring a detailed noise mitigation scheme to be submitted at detailed design stage.
- 7.104 Officers note the realigned A141, if utilising the safeguarded land through this development, would run in close proximity to a number of the residential parcels. As that project is subject to separate consideration it will be required to mitigate for its own impacts. TAT have confirmed that they have considered a worst-case scenario in determining the corridor, and that the onus of any mitigation in terms of

noise or air quality will fall to them to assess the impacts. As such, it is not for this application to consider the impacts of the road itself, only, as set out above, whether the development has made sufficient provision for a realigned A141 to come forward without being prejudiced by the development.

- 7.105 The noise contours indicate the development would enable the majority of the development to achieve below 55db in its private outdoor amenity space, with a 55-60db range along the very edge of the development, fronting the road. It is noted that the latter is in excess of the upper range of standard guidance, though any calculations are noted as being subject to variance.
- 7.106 Internally, noise levels are more capable of being readily mitigated. The ES makes recommendations on how might be achieved, including directing habitable rooms towards quieter areas and adjustments to the building fabric to result in higher noise reductions. In the context of the scale of this development it is considered that this is a reasonable approach that can be accommodated.
- 7.107 In terms of noise, while it is noted that there are areas likely to come forward that are in excess of recommended noise thresholds, these are limited, and internal areas are considered capable of being made acceptable. Future occupants would be aware of the noise environment, and, with respect to the realigned A141, there is a reasonable expectation that this would mitigate its own impacts, including noise, so as to create a suitable noise environment. Noting the comments of the Environmental Health Officer, who has raised no objections, officers consider the proposal would create a satisfactory noise environment for future occupants.
- 7.108 The application at this time has not been accompanied by a Health Impact Assessment (HIA), and the County Council Development Management Team have raised objections on that basis. Officers note that policy LP29 provides support for proposals that are accompanied by a HIA but does not state such application will be refused for their lack of HIA. The supporting text notes the underlying purpose is to inform design and layout. Officers note the application is accompanied by a design code, and the submitted ES has considered human health in a number of its sections, though not explicitly in the format of a standardised HIA. As the absence of a HIA is not unacceptable in the context policy LP29, and the proposal is considered to have otherwise demonstrated a satisfactory approach to human health, having regard to the subject matter a HIA would contain, it is not considered the lack of a HIA in this instance would form a sustainable reason for refusal and the proposal has otherwise accorded with the underlying reasons for requiring an HIA in informing the design principles established for of the site, and which will carry through into future reserved matters applications.
- 7.109 On the whole, and subject to conditions, officers consider the proposal has made adequate demonstration that a suitable amenity environment can be achieved for future occupants, and therefore accords with policy LP14.

Section 106 Contributions and Community Infrastructure Levy (CIL)

- 7.110 Section 106 Obligations may be sought where they meet the tests of Regulation 122 of the Community Infrastructure Levy Regulations 2010 (as amended). Such obligations must be necessary to make the development acceptable in planning terms, directly related to the development and fairly and reasonably related in scale and kind to the development.
- 7.111 The development will be CIL liable in accordance with the Regulations (and exemptions contained within) and the Council's adopted charging schedule. In addition, as the proposal is for in excess of 200 dwellings, contributions beyond CIL may be sought through S106 obligations towards infrastructure in respect of health, education, footpaths, community facilities, libraries and lifelong learning, open space and sport facilities as necessary in relation to the proposal.
- 7.112 In order to calculate the required obligations, the Developer Contributions SPD requires that dwelling numbers are translated into population. At this time average household numbers are calculated at 2.19 persons per household. This development, at 1000 dwellings, would therefore equate to a population of 2190 people. Contributions have been assessed on this basis having regard to overall figures but, where appropriate, the Section 106 agreement will utilise a calculation-based approach in order to reflect the actual need and impact of the development.
- 7.113 A number of comments have been received from consultees identifying where contributions are required towards infrastructure to accommodate the needs arising from this development. Local residents have raised concerns that contributions will be required towards infrastructure, though it is noted that no specific instances have been identified.
- 7.114 In summary, the following contributions have been identified as being required by the adopted Developer Contributions SPD, or requested by consultees;
- That 40% (up to 400 units) of the dwellings provided affordable, as defined within the NPPF (with an expected provision of 70% to be provided as social or affordable rented properties and 30% shared ownership properties).
 - A contribution of £66,000 towards the creation and alteration of Public Rights of Way and associated physical works.
 - £1,025,486 towards the expansion of existing GP surgeries.
 - Approx. £100,000 towards network improvements to support sustainable transport to Stukeley Meadows School.
 - The contribution of 3ha of land and £14,267,291 towards primary school provision.
 - A contribution of £1,202,166 towards Special Education Needs, namely to Alconbury Weald SEND.
 - A contribution of £175 per dwelling towards the provision of bins, or £669 per communal bin.
 - A contribution of £94,700 towards Libraries and Lifelong Learning.
 - At least 4.6ha of informal open space provision.
 - At least 3.5ha of formal open space provision.

Affordable Housing:

- 7.115 As set out in adopted policy LP24, proposals of this scale are required to contribute towards affordable housing, providing 40% of the dwellings as affordable units. Of the proposed 1000 dwellings this would represent a total of 400 affordable units. The supporting text at paragraph 7.9 of the Local Plan clarifies that the expectation is that this is a mix of 70% social or affordable rented, and 30% shared ownership units, though the former is specifically identified in the policy itself. This is the expected starting position unless there are other considerations that may indicate a lower level of affordable housing is appropriate, and in this instance the applicant has submitted a viability assessment that seeks to demonstrate the provision of 40% affordable housing would render the scheme unviable and a lower provision should be sought, in accordance with NPPF para. 58.
- 7.116 A viability exercise was undertaken in 2021 with the Council advised by VOA as an independent consultant which was funded by the Developer in line with the Developer Contributions SPD. That review resulted in an outcome of which agreed a 35% affordable housing provision at a 50/50 split between social or affordable rent and shared ownership products and concluded that a 40% affordable housing provision was not viable in the context of this development. Given its age, this is now considered to be out of date, but it was an agreed point, in terms of build costs, inputs and the model used to determine viability and the overall provision of the affordable housing.
- 7.117 Notwithstanding its age, the applicant has maintained the offer of 35% provision at a 50/50 split in line with the VOA review. Officers are aware that, during the intervening period between now and that review being carried out, there has been a significant increase in build costs, both nationally and in relation to this development and, associated to that, an increase in S106 contributions requested as well as increase in CIL charges. This has been borne out of discussions on viability in other sites across the district to a sufficient degree that officers are satisfied that is highly unlikely that there would be any improvement in the viability position, and that any further assessment is likely to indicate a reduced level of provision would be required to make the scheme viable. Officers also note this in the context that there is likely to be an increase in CIL charges arising in January, which is likely to further reduce the level of viability.
- 7.118 While officers consider it likely that there will be some improvement in stability of costs over time that is likely to improve the viability position, there is limited evidence available on the likely level that would result in, and so no guarantee any review during the build out of the scheme would likely result in a provision greater than 35%. In any event, any review mechanism in terms of viability that did give rise to a higher proportion would only be applied to following phases of the development. Additionally, in the context of the 5% shortfall from the 40% starting point, it is considered unlikely that there would be any significant benefit in requiring a review for this development.
- 7.119 In light of the above, officers consider that the proposed 35% offer at a 50/50 split between affordable or social rent and shared ownership without requiring a review mechanism is an acceptable level of affordable housing. This would be secured through the Section 106

agreement and is considered to accord with policy LP24 and section A of the Developer Contributions SPD.

Rights of Way:

- 7.120 A contribution of £66,000 has been sought towards the provision and improvement of public Rights of Way crossing and adjoining the site. These would be towards improvements of footpaths 230/5 and 230/19 to the northwest of the site, which would be upgraded and combined in a single right of way as they currently run parallel, the creation of new Bridleways within the site and a new Bridleway connecting the site to existing Bridleway 230/26 to the western corner, which crosses the A1307 and connects to the wider network.
- 7.121 The adopted Developer Contributions SPD notes that PROWs are an important resource for recreation, healthy living and sustainable transport. The current site has limited connections, with only footpaths linking it to surrounding networks, and therefore excluding some non-motorised users from legal access. Given the scale of the development, officers consider there will be a significant increase in demand for access to the countryside and the rights of way network. The improvements which in part would be delivered by the County Council, are necessary to support accessibility to recreational areas and promote health and sustainable transport for future occupants of the development. It is therefore considered this contribution would meet the CIL tests and would accord with policy LP4.

Health:

- 7.122 The Clinical Commissioning Group (CCG) in connection with NHS England has identified a contribution of £1,025,486 would be required towards health provision, calculated on the average person yield from the number of dwellings provided. The CCG have confirmed that this would be towards the expansion of surgeries within the Hicks Group, which contains a small number of surgeries within Huntingdon. Officers note that, while no specific surgery has been identified, in the context of the scale of the development, the focus to a group of surgeries is considered sufficient to meet the needs of the development. Officers consider this amount to be the requirement to mitigate the impacts of the development in terms of health provision and would be required in accordance with policy LP4 and section D of the Developer Contributions SPD.

Education:

- 7.123 A contribution of approximately £100,000 has been requested by the County Council Transport Assessment Team towards the provision of highway network improvements to facilitate access from the site into schools within Huntingdon. The County Council, as Education Authority, have indicated there is some capacity within existing schools to accommodate early phases of the development, though this is expected to be exhausted by 2030 on the basis of background growth alone, and does not otherwise override the need for a primary school within the site, discussed further below. However, in the context of the trigger points for the primary school, pushed back to support the viability of the development, the network improvements are necessary to ensure

existing schools are capable of being accessed by residents. It is noted that this figure is approximate at this stage, and further discussions will be had with the County Council to ensure a more detailed figure is secured, alongside detail of the works that it will facilitate, and which will factor into the S106. However, at this stage, officers consider there is sufficient detail provided, in the context of the legal requirements on the County Council as both Local Highway Authority and Education Authority, for officers to conclude this is a reasonable and appropriate request. This contribution is therefore considered to be required to ensure the development accords with policy LP4 and sections C and G of the Developer Contributions SPD.

- 7.124 A financial and land contribution towards primary school places of up to 3ha and £14,267,291 has been requested, based on the estimated need generated by this development and in context of the allocation as a whole, with further contributions sought from the northern part of the allocation (application ref. 20/00847/OUT). In particular, this development is to deliver a 2FE primary school with 3FE core on approximately 2.3ha of land, together with associated Early Years provision and an element of special education needs as part of the standard provision. A further area of land will be reserved to come forward at a later stage as needed to allow for the school to be expanded and meet the needs of the other part of the allocation.
- 7.125 Officers note that this contribution is based on a likely population yield, and a more detailed calculation would be used within a S106 agreement to ensure this meets the impact of the actual size of dwellings delivered on site in detail. The contributions would be necessary to mitigate the increased demand for school places generated by the development that cannot be accommodated within existing schools within the surroundings, in accordance with policy LP4 and section G of the Developer Contributions SPD.
- 7.126 A contribution of £1,202,166 towards the Special Education Needs (SEND) school on Alconbury Weald has been requested to meet the needs arising from this development. It is noted that the school was partly forward funded on the basis that contributions on this allocation was not yet secured, but the request remains as a requirement to meet its needs. While there is an element of SEND provision within the primary school, that is not targeted, and is generally part of the needs of the school, as opposed to this request which is focused on a specific provision. This contribution is therefore considered necessary to meet specialised needs of children, in accordance with policy LP4 and section G of the Developer Contributions SPD.
- 7.127 It is noted that there were historic requests for contributions towards Secondary Education. However, these have fallen away and are no longer sought by the County Council. In accordance with para. 3.15 of the Developer Contributions SPD any need that arises from this development is to be met utilising CIL funding. This formed a consideration of the viability of the allocation at its outset and the adoption of CIL by the Council, and officers consider this remains applicable here such that no contribution is appropriate to Secondary Education.

Libraries and Lifelong Learning:

- 7.128 A contribution of £94,700 towards Libraries and Lifelong Learning provision has been requested by the County Council. This was calculated on the likely population yield from the development at 1000 dwellings and the County Council have identified a project that this will be put towards, namely the enhancement and expansion of Huntingdon Library, including a breakdown of how the funds are intended to be spent. The contribution would be necessary to ensure the library has adequate provision to support future residents learning aspirations, in accordance with policy LP4 and section F of the Developer Contributions SPD.

Wheeled Bins:

- 7.129 A contribution towards waste would be required, specifically the provision of wheeled bins to serve residential units within the development. The amount required would be based on a per dwelling calculation, of £175 per dwelling, up to a maximum of £175,000 at 1000 dwellings. Any shared bins, such as those serving flats, would require a contribution on the basis of £669 per bin. This would be reflected as a calculation within any S106, to capture the final outcome of the number and form of dwellings. It is considered necessary to ensure the development has adequate waste infrastructure, in accordance with policy LP4 and section H of the Developer Contributions SPD.

Green Space:

- 7.130 The Council's Open Space Team has advised the required provisions for on-site open space to be delivered based on the quantum of development proposed is a minimum of 46,428m² of open green space, based on a calculation of 21.2m² per person. No objections have been raised by the Open Spaces Team, who are supportive of the general location of equipped play spaces and the arrangement of open space towards the centre of the development, as set out in the parameter plans. This is considered sufficient space to accommodate the needs of the development and would be phased throughout the application to ensure there is ongoing provision to meet need as it arises at appropriate trigger points.
- 7.131 Officers note that the strict application of play space thresholds would require the development to provide 5no. Neighbourhood Equipped Areas of Plan (NEAP) and 1no. Local Equipped Area of Play (LEAP). This is considered excessive to meet the needs of the development, as noted by the Council's Green Spaces Officer, and only 1no. NEAP and 1no. LEAP are sought to ensure there is adequate play space for this development, noting the large areas of open space and formal sport provision. In addition, contributions would be required towards maintenance depending on the party that adopts the green space on site, to be calculated in accordance with the updated costs in Appendix 2 of the SPD.
- 7.132 As the proposal is in excess of 450 dwellings, the Developer Contributions SPD requires contributions towards formal sport provision, primarily in the form of onsite contributions. Based on a calculation of 16m² per person the total amount of land required at 1000 dwellings is

35040m². The application includes an area of formal sports in its western corner, indicatively in the form of sports pitches and an associated community building but has indicated a shortfall of 0.85ha within this area. However, there is a significant overprovision of natural and semi-natural green space (7.56ha). The space requirements of formal sport, namely as a large block of space, is considered to be difficult to accommodate in the context of the constraints of the site, particularly the area of flood zone and the land to be protected for a potential A141 realignment, though other forms of open space are able to be accommodated across the site.

- 7.133 Officers have had regard to HDCs Playing Pitch Strategy (2022) and the surrounding developments that are also coming forward, particularly Alconbury Weald that includes formal sport provision. It is noted that, across both this allocation and Alconbury Weald there is likely to be provision towards sports that currently experience a shortfall in space provision. In particular there is need for further grass pitches and cricket wickets that can be provided at this site, reflected in the indicative sports pitch layout submitted, and which will not otherwise be met through other developments. In addition, officers have not been able to identify any location where a contribution in lieu of the shortfall would be appropriate, both in meeting the impacts of the development and that would be able to support a project. On the whole, and particularly in light of the significant overprovision of natural green space and the viability position, it is considered that this shortfall is acceptable in this instance, and the development would still adequately provide for the sport needs of future occupants in a manner that supports identified needs within the Playing Pitch Strategy. This contribution is therefore considered accord with policies LP4 and TL3 and section B of the Developer Contributions SPD.

S106 Summary:

- 7.134 Overall, of the obligations that have been identified and requested, the following are considered to meet the tests in 122 of the CIL Regulations and would accord with policy LP4. They are recommended to be sought through a S106 legal agreement in the event of a resolution to approve;
- That 35% of the dwellings to be erected are affordable (with an expected provision of 50% to be provided as affordable rented properties and 50% shared ownership properties.)
 - A contribution of £66,000 towards the creation and alteration of Public Rights of Way and associated physical works.
 - £1,025,486 towards the expansion of existing GP surgeries.
 - Subject to final clarification, approximately £100,000 towards network improvements to support sustainable transport to Stukeley Meadows School.
 - The contribution of up to 3ha of land and £14,267,291 towards primary school provision.
 - A contribution of £1,202,166 towards Special Education Needs, namely to Alconbury Weald SEND.
 - A contribution of £175 per dwelling towards the provision of bins, or £669 per communal bin.
 - A contribution of up to £94,700 towards Libraries and Lifelong Learning.
 - At least 5.4ha of informal open space provision.
 - At least 2.7ha of formal sport provision.

Other Matters

- 7.135 The Country Fire & Rescue service has recommended a condition or S106 contribution towards the provision of fire hydrants to serve the development. This is considered to be necessary to ensure the development has adequate service provisions to respond to emergency events and can be secured by condition as is standard practice.

8. Planning Balance and Conclusions

- 8.1 The application must be considered in accordance with the statutory tests in s.38 (6) of the Planning and Compulsory Purchase Act 2004, namely, determined in accordance with the Development Plan unless material considerations indicate otherwise. As the now adopted Local Plan came into force in May 2019 it is considered to be 'recently adopted' in accordance with footnote 38 of the NPPF. It has been demonstrated through the AMR that there is a five-year supply of housing land, and in accordance with paragraph 74, this is sufficient to confirm that position. The policies which are the most important for determining the application are considered to be up-to-date and are afforded full weight.
- 8.2 While it is noted that there is a minor element of non-compliance with policy LP25 in terms of the latest adopted mix this is not considered to be materially harmful, and in principle the mix indicated is still considered to meet identified need within the district, having regard to the origins of the discrepancy in creating more 1-bed than 2-bed properties.
- 8.3 Officers note that an independent review of the latest viability position has not taken place. However, as set out above, officers consider there is every possibility that such a review would only indicate a lower level of provision than has been offered by the applicant. Given the uncertainty around the likely market influence over the years of construction there is no evidence that can be relied on that the viability position would improve to the level offered. Noting the proposed level is comparable to the previously agreed position of 35%, it is considered this is an acceptable provision to secure in relation to this development. As the AH offer is justified through viability considerations, the proposed quantum of affordable housing is considered compliant with the Development Plan.
- 8.4 In all other respects the application is considered to accord with adopted local and national policy, and appropriate conditions and planning obligations are capable of being imposed that will control the development and ensure infrastructure delivery comes forward at appropriate times to mitigate for the impacts for the development.

9. RECOMMENDATION - Delegated powers to APPROVE following confirmation of the Transport Contribution and subject to completion of a S106 agreement and conditions in relation to the following:

1. Commencement within 2 years of each reserved matters application.
2. Reserved matters applications to be submitted prior to any commencement of works and within a specified time period.

3. Accordance with approved plans.
4. Submission of a phasing plan.
5. Reserved matters application to be accompanied by statement demonstrating compliance with design code.
6. Number of dwellings not to exceed 1000
7. Housing mix to accord with approved mix
8. A proportion of dwellings to be M4(2) and M4(3)
9. Public Rights of Way Scheme to be submitted and approved.
10. Detailed land contamination investigation and remediation to be carried out.
11. Works to cease in the event of unexpected contamination.
12. Ground survey to accompany formal reserved matters applications.
13. Noise mitigation proposals to accompany reserved matters applications.
14. Detailed surface water drainage scheme to be submitted.
15. Archaeological investigation to be carried out in accordance with details submitted to and approved by LPA.
16. Fire hydrants to be submitted prior to occupation of each reserved matters area.
17. Roads to be constructed to binder course prior to first use.
18. Detailed design of roads to be submitted.
19. Long-term construction, management and maintenance arrangements of all roads to be submitted.
20. Roads to be constructed to CCC specification where adjoining existing highway.
21. Parking and manoeuvring space details to be submitted as part of each reserved matters application and thereafter retained.
22. Construction traffic management plan and construction traffic parking arrangements details to be submitted.
23. Access highway works to be carried out prior to occupation of first dwelling.
24. Offsite highway improvement works to be carried out in accordance with approved details.
25. Travel plan to be submitted and approved.
26. Details of biodiversity net gain to accompany reserved matters applications.
27. Lighting details to be submitted with each REM.
28. Construction Environmental Management Plan to be submitted.
29. Construction Ecological Management Plan to be submitted.
30. Habitat mitigation proposals to be submitted.
31. Waste management and minimisation plan to be submitted.
32. All dwellings to accord with water efficiency standard in Part G of building regulations.
33. Details of bin collection points to be submitted as part of each reserved matters application.
34. Tree protection measures to be submitted and implemented.

OR

REFUSE in the event that the obligation referred to above has not been completed and the applicant is unwilling to agree to an extended period for determination, or on the

grounds that the applicant is unwilling to complete the obligation necessary to make the development acceptable.

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs.

CONTACT OFFICER:

Enquiries about this report to **Aaron Sands, Senior Development Management Officer**

aaron.sands@huntingdonshire.gov.uk

HUNTINGDON TOWN COUNCILPLANNING COMMENTS : 4th November 2021

18/01918/OUT

Mixed use development comprising: Up to 1000 dwellings, Primary School including early years provision, Up to 205sqm community floorspace, Up to 1000sqm retail floorspace (class A1), food and drink uses (classes A3-A4), Open space and play areas, Landscaping, Pedestrian and cycle links, Associated drainage and engineering works and , highway connections including primary and secondary vehicle access from Ermine Street and the A141 (Outline Planning Application for phased development with all matters reserved except means of access onto the local highway network). Land North West of Spittals Way and Ermine Street, Great Stukeley.

Amended plans and documents received 16th September 2021

Members commented that the new layout of the village green was better than the previous layout.

A member commented that the community facility's floorspace looked very small.

Members felt that the proposed changing rooms for six sports pitches and a MUGA were too small and the development needed to have bigger facilities with an ECO building and parking spaces which would be big enough to accommodate the amount of people using 6 sports pitches.

Members commented that there was a missed opportunity for ECO building on the development and there needed to be more renewable energy used.

Members were concerned that a road would split the residential area from the Community Centre, sports pitches and allotments. It was felt that a safe crossing option was needed.

A member noted that there was no information about how many form entries there would be at the primary school. It was felt that there would need to be more than a one form entry.

A member commented about the type of heating that would be installed in the houses on this development. Air source heat pumps would have been too loud on a development like this.

Aaron Sands


From: Clerk - TSPCN6 <clerk@thestukeleys-pc.gov.uk>
Sent: 04 December 2018 07:09
To: DMAdmin; Control, Development (Planning)
Subject: The Stukeleys PC recommendations: Planning Permission Consultation - Land North West Of Spittals Way And Ermine Street Great Stukeley (ref 18/01918/OUT)

Dear planners,

PC recommend refusal on the basis that highway issues have not been clarified as the site will generate traffic beyond the safe capacity of local roads, disturbance resulting in unacceptable to local communities and building homes on prime farmland is unacceptable use giving currently undetermined status of RAF Wyton.

Sincerely,
Ramune


Clerk to The Stukeleys Parish Council


clerk@thestukeleys-pc.gov.uk
<https://www.thestukeleys-pc.gov.uk/>

Please note I work part time and so there may be a delay in my responding to both email and telephone calls.

From: Dmadmin@huntingdonshire.gov.uk <Dmadmin@huntingdonshire.gov.uk>
Sent: 13 November 2018 09:45
To: clerk@thestukeleys-pc.gov.uk
Subject: RE: Planning Permission Consultation - Land North West Of Spittals Way And Ermine Street Great Stukeley (ref 18/01918/OUT)

Dear Parish Clerk,

Please find correspondence from Development Management at Huntingdonshire District Council attached to this email in relation to the following application for planning permission.

Proposal: Mixed use development comprising: Up to 1,000 dwellings, Primary School including early years provision, Up to 205sqm community floorspace, Up to 1,000sqm retail floorspace (Class A1), Food and drink uses (Classes A3-A4), Open space and play areas, Landscaping, Pedestrian and cycle links, Associated drainage and engineering works and, highway connections including primary and secondary vehicle access from Ermine Street and the A141 (Outline Planning Application for phased development with all matters reserved except means of access onto the local highway network).

Site Address: Land North West Of Spittals Way And Ermine Street Great Stukeley

Reference: 18/01918/OUT

Opting out of email correspondence

We are continually striving to improve the service we deliver to our customers. As part of this we are now contacting our customers by email where possible in an effort to provide a faster, more efficient service.

If you would prefer not to receive correspondence from us via email you have the right to opt out. If you wish to opt out please contact us at the address provided below so that we can remove your email details from our records.

Keeping safe on the internet

You should never open a file attached to an email when you do not trust the sender's authenticity.

We will only contact you via email when you have already contacted us in relation to this specific application (or one directly related to it) and provided your email address as a contact - we will not transfer your contact details between unrelated applications.

If you have any doubts or concerns relating to this email please contact us directly, our contact details are provided below.

Development Management
Huntingdonshire District Council

T: 01480 388388

E: mail@huntingdonshire.gov.uk

Disclaimer

The information contained in this communication from the sender is confidential. It is intended solely for use by the recipient and others authorized to receive it. If you are not the recipient, you are hereby notified that any disclosure, copying, distribution or taking action in relation of the contents of this information is strictly prohibited and may be unlawful.

This email has been scanned for viruses and malware, and may have been automatically archived

Development Management Committee



Scale = 1:7,500

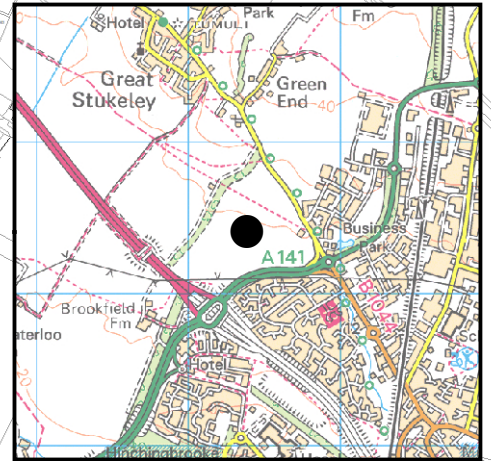
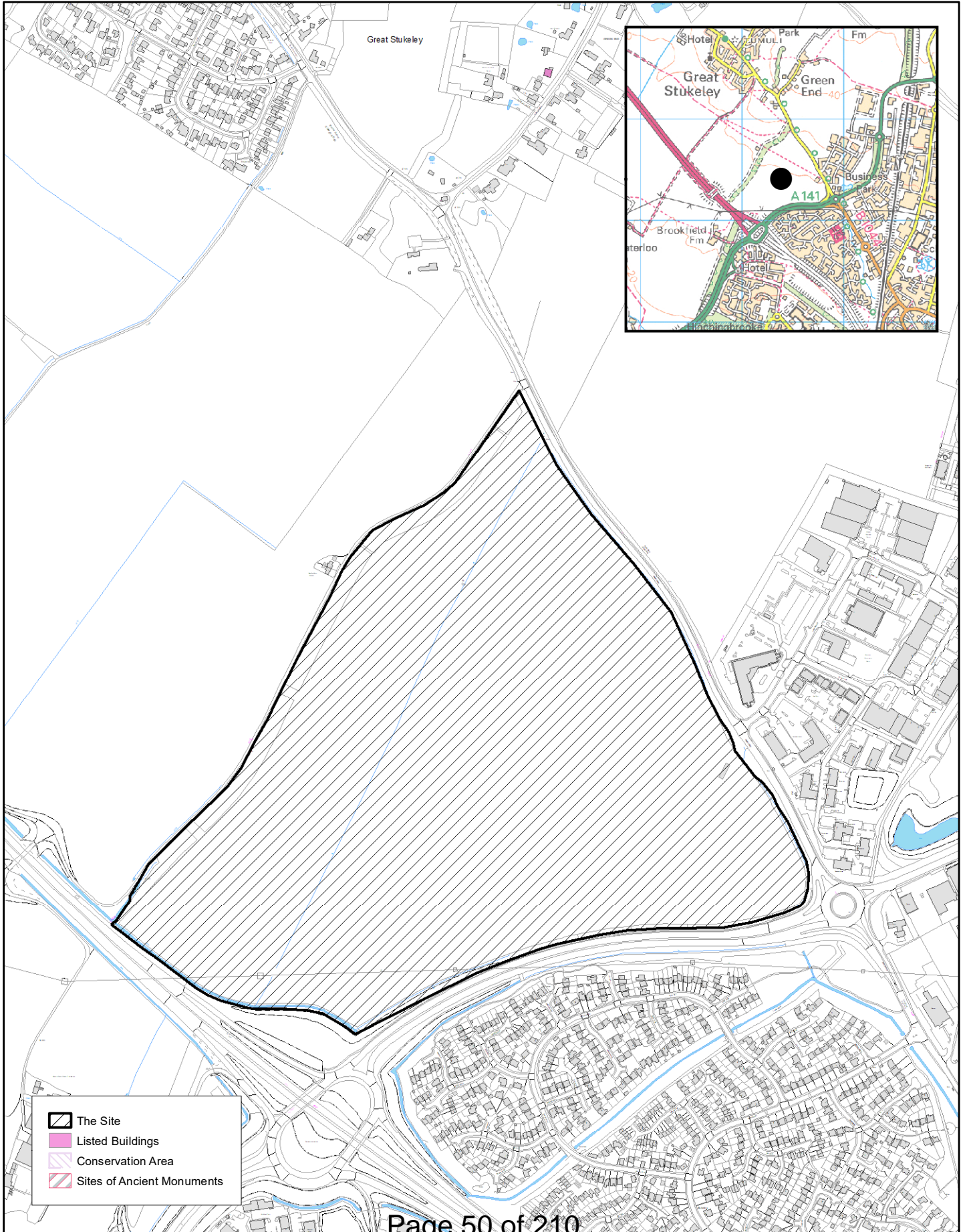
Date Created: 31/10/2023

Application Ref: 18/01918/OUT

Location: Huntingdon



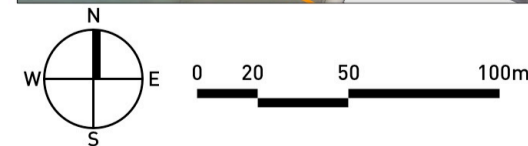
© Crown copyright and database rights 2023
Ordnance Survey HDC 100022322





- KEY**
- LAND USE**
- Site boundary
 - Primary school (2.3Ha) including on site drainage/attenuation/drop off area
 - Potential primary school expansion land (0.7 Ha)
 - Mixed use facilities (1.0 Ha)
 - Outdoor sports pitches (2.68 Ha)
 - Potential allotments (0.70 Ha)
 - Central green/community park (minimum 1.14 Ha)
 - Public open space
 - Attenuation basins
- PLACEMAKING**
- Landmark and key corners (in addition to dual fronted corner addressing units)
 - Childs play area (NEAP/LEAP)
 - Pocket parks (minimum 300sqm)
- CHARACTER**
REFER TO DESIGN APPROACH TABLES FOR DETAILS
- CA1 Central Avenue
 - CA2 Central Green
 - CA3 Western Green Edge
 - CA4 Western Neighbourhood Core
 - CA5 Ermine Street
 - CA6 Green Edge
 - CA7 Eastern Neighbourhood Core
- MOVEMENT**
- Proposed access point (subject to detailed design)
 - Key routes between parks (links between pocket parks and central green)
 - Emergency vehicular, pedestrian and cycle only link
 - Access to sports pitches/allotments
 - Existing PRoW: Footpath retained
 - Existing PRoW: Bridleway retained
 - Proposed bridleway
 - Proposed ped only route
 - Proposed shared use foot/cycleway
 - Proposed footway
 - Proposed ped/cycle shared use route (provided by others)
 - Proposed offsite bridleway connection
 - Proposed signalled pedestrian crossing point
 - Protected road corridor
- NOTE: Reference should be made to the PRoW Strategy Plan

Page 51 of 210

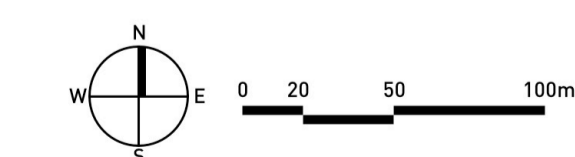


ERMINE STREET, HUNTINGDON - REGULATING PLAN



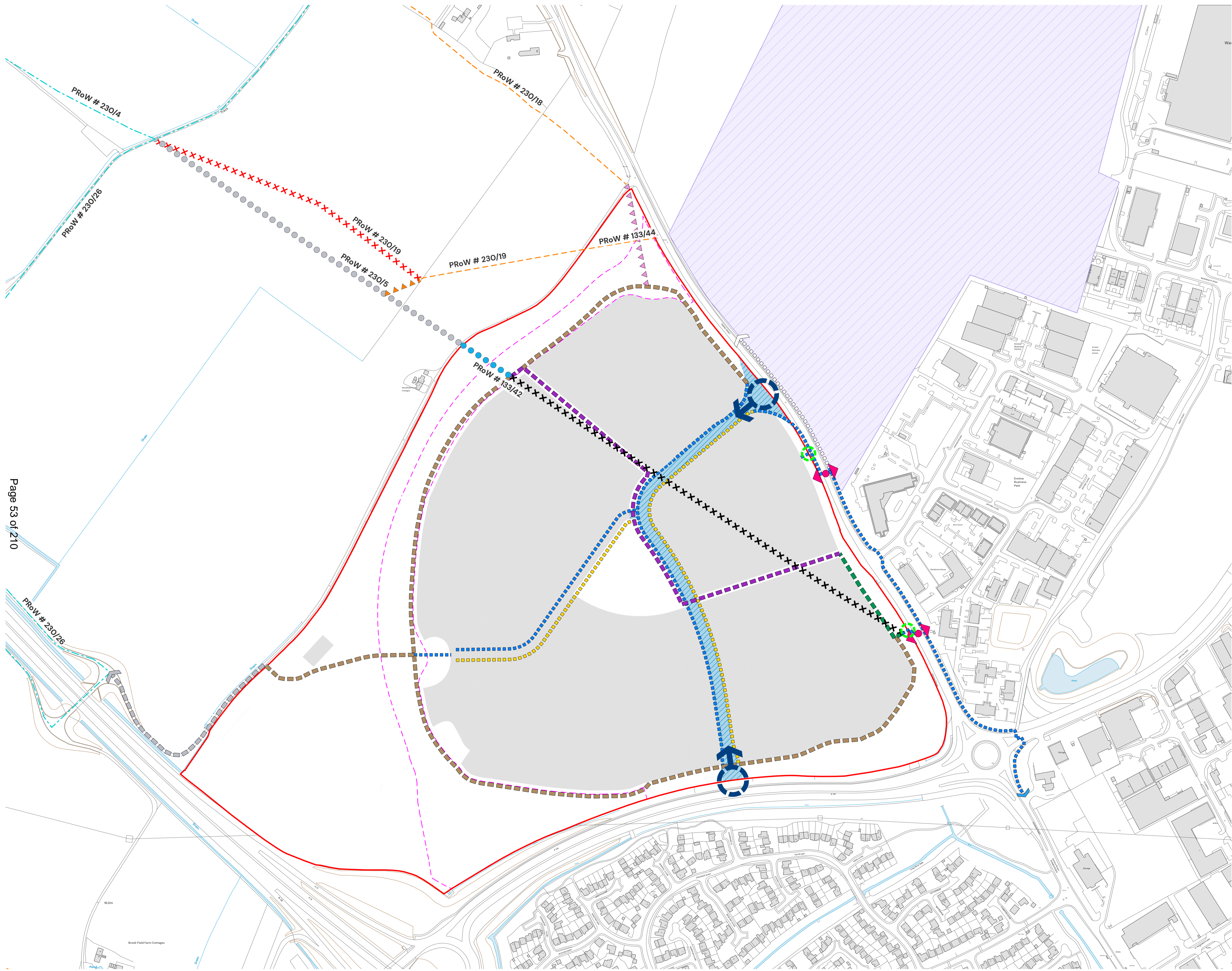


- KEY**
- Site location (50.21 Ha)
 - HUI allocation boundary
 - Indicative residential parcels
 - Mixed use local centre facilities (1.0 Ha). Including retail, up to 1,000sqm, no bigger than 600sqm. Use classes A3-A5, D1 and C3 residential.
 - Primary school and indicative buildings (2.3 Ha) Including on site drainage/attenuation/drop off area
 - Potential primary school expansion area (0.7 Ha) (if not required then revert to residential C3 use)
 - Principal avenue corridor
 - Proposed vehicular access points (subject to detailed design)
 - Protected road corridor
 - Focal spaces, including pocket parks
 - Indicative tree planting
 - Existing vegetation
 - Public open space
 - Natural play space - Central Green (incorporating informal and equipped play)
 - Informal amenity green space within residential parcels
 - Potential allotments (0.72 Ha)
 - Outdoor sports pitches (2.75 Ha) Including sports pavilion
 - Existing PRoW: Footpath retained
 - Existing PRoW: Bridleway retained
 - Proposed bridleway
 - Proposed ped only route
 - Proposed shared use foot/cycleway
 - Proposed footway
 - Proposed ped/cycle shared use route (provided by others)
 - Proposed offsite bridleway connection
- NOTE: Reference should be made to the PRoW Strategy Plan



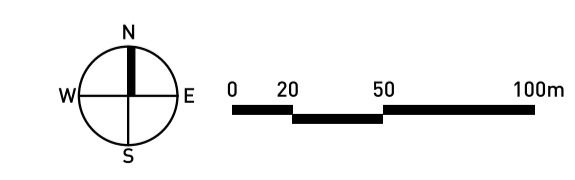
ERMINE STREET, HUNTINGDON - INDICATIVE MASTERPLAN



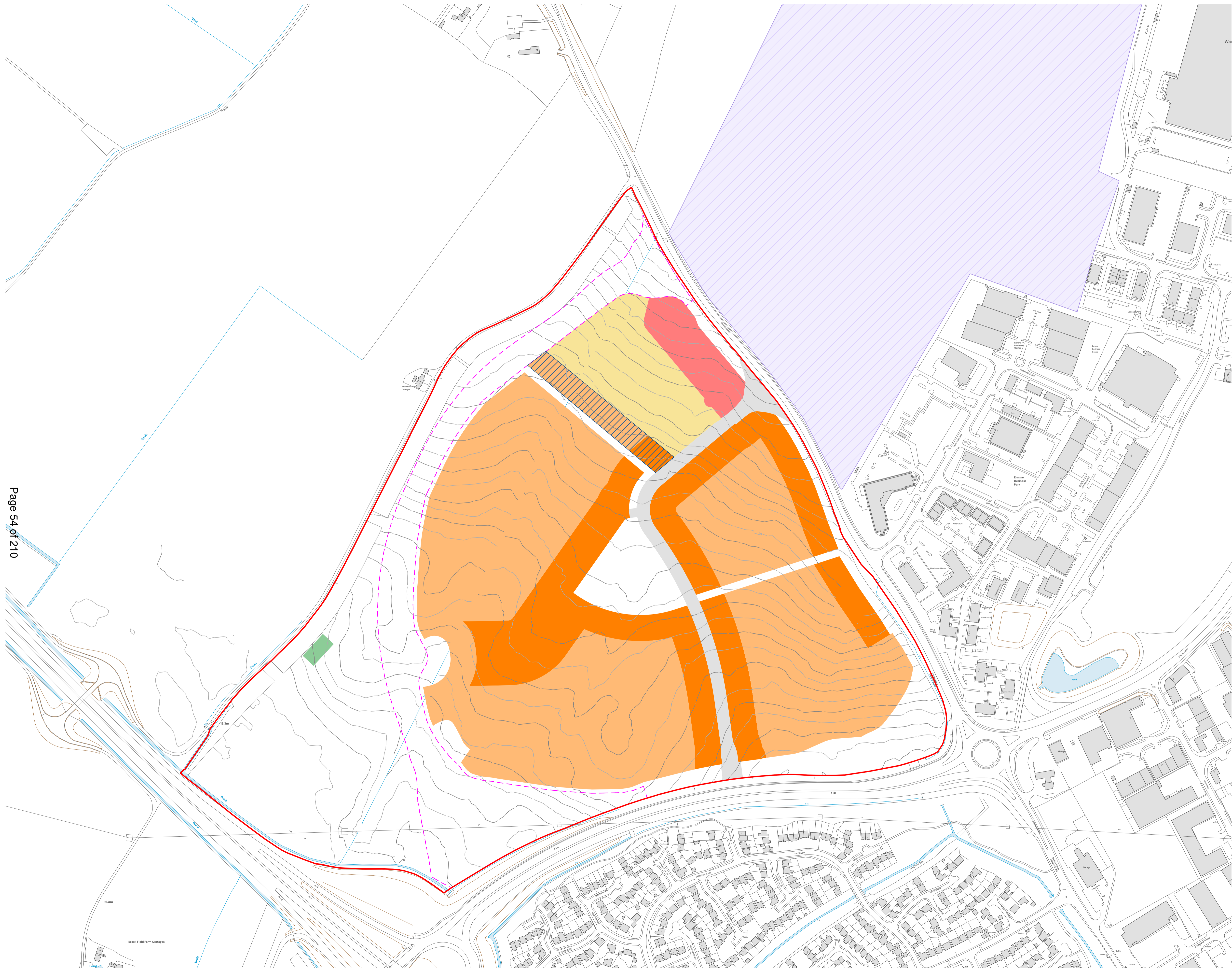


- KEY**
- Site boundary (50.21 Ha)
 - Development parcels
Residential/school/local centre/incidental open space
 - Protected road corridor
 - Principal avenue corridor
 - Vehicular access points
 - Proposed new pedestrian and cycle only access point
 - Proposed new pedestrian crossing and access to eastern side of Ermine Street
 - Existing PRoW: Footpath retained
 - Existing PRoW: Bridleway retained
 - Existing PRoW 230/5 (footpath) to be upgraded to bridleway offsite
 - Existing PRoW 133/42 (footpath) to be upgraded to bridleway onsite
 - Existing PRoW 133/42 (footpath) to be diverted
 - Proposed PRoW 133/42 (footpath) diversion route. To be upgraded to bridleway (6m active surface, within 10m green corridor)
 - Proposed PRoW 133/42 (footpath) diversion route. To be upgraded to bridleway (6m active surface). Minimum 22m between eastern edge of bridleway active surface and western edge of Ermine Street carriageway)
 - Existing PRoW 230/19 (footpath) to be extinguished
 - Proposed PRoW 230/19 (footpath) diversion route
 - Proposed bridleway (6m active surface)
 - Proposed offsite bridleway (3m width) to connect to PRoW 230/26 bridleway
 - Proposed ped only route (2m width)
 - Proposed shared use foot/cycleway (minimum 3m width)
 - Proposed footway (minimum 2m width)
 - Proposed pedestrian/cycle shared use route (to be provided by others)
 - Proposed residential scheme on adjacent land

NOTE:
 The precise alignment of the proposed PRoW 133/42 diversion route is to be considered in due course when the diversion application is made to HDC/CCC.
 Surfacing and offsets to new planting to be determined subject to future management arrangements.



ERMINE STREET, HUNTINGDON - ACCESS & MOVEMENT PARAMETER PLAN



- KEY**
- Site boundary (50.21 Ha)
 - Residential development
8m to 10m high. A mixture of 2 and 2.5 storey properties, with increased heights focused around key buildings and nodal points
 - Residential development
8m to 13m high. A mixture of 2 and 2.5 storey properties, with potential for 3 storey properties. Increased heights focused around key buildings and nodal points
 - Total residential development area 24.7 Ha**
 - Primary school (2.3Ha)
Up to 11m high
 - Potential area for primary school expansion (0.7Ha)
School building up to 11m high.(If required and subject to further discussions with Council, otherwise revert to residential development)
 - Mixed-use local centre (1.0 Ha)
Up to 11m high. Up to a maximum of 3 storeys above future ground level
 - Sports pavilion/changing room block
Up to 6m high. 1 storey above future ground level
 - Infrastructure
 - Protected road corridor
 - Existing contours
At 0.5m intervals
 - Proposed residential scheme on adjacent land

NOTE:
Future ground levels allow for a maximum of 1.5m above the existing ground level (this establishes appropriate drainage, balancing of cut and fill, and alignment of street buildings to consistent levels)

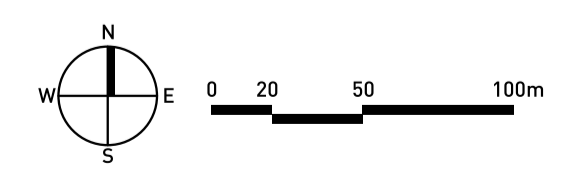
Dwellings with half storeys to have accommodation provided within the pitched roof space

ERMINE STREET, HUNTINGDON - LAND USE & BUILDING HEIGHTS PARAMETER PLAN



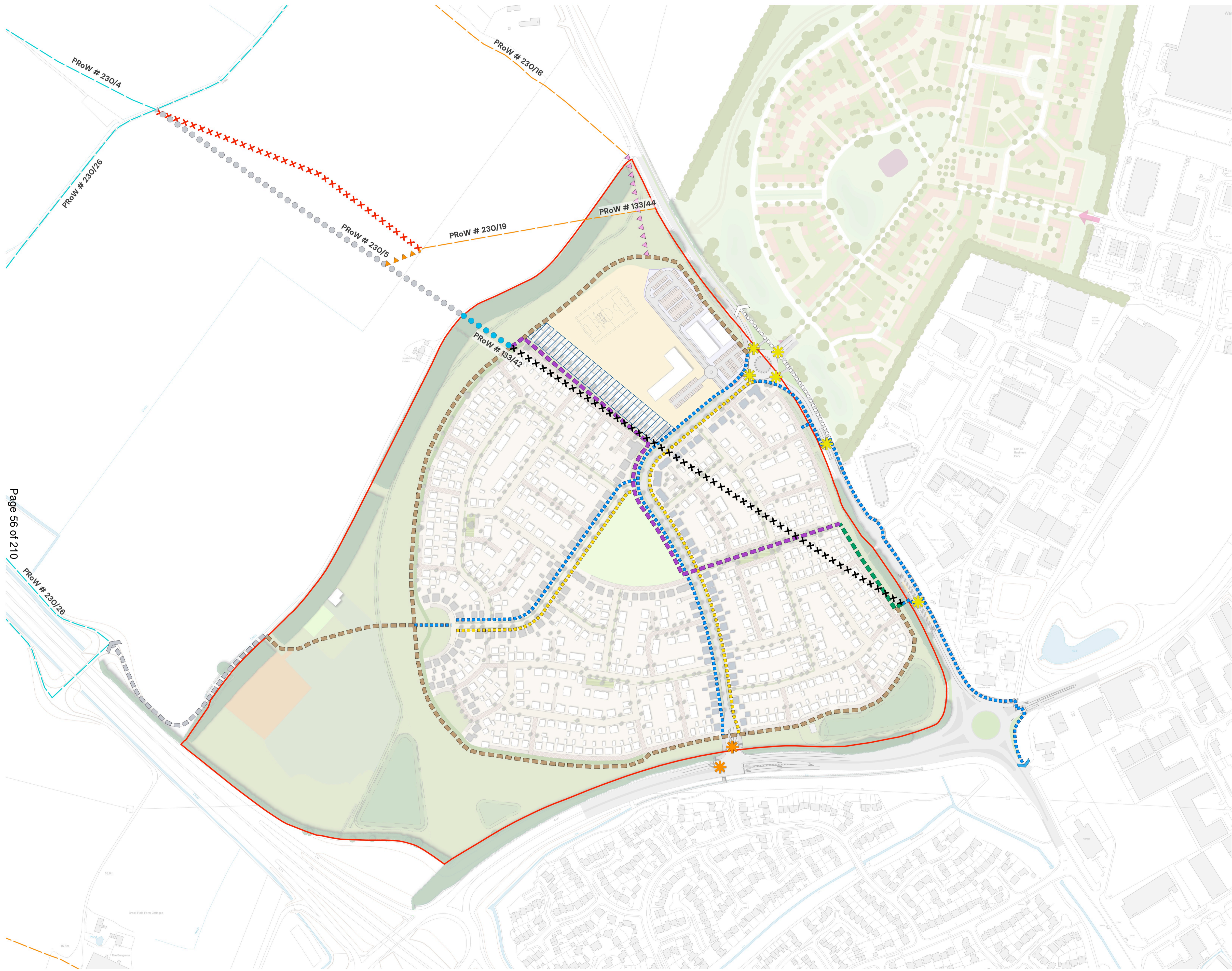


- KEY**
- Site boundary (50.21 Ha)
 - Development parcels
Residential/school/local centre/incidental open space
 - Principal avenue corridor
 - Public open space
 - Central Green Space
Minimum 1.14 Ha
 - ✱ Natural play space – Central Green
Incorporating informal and formal/equipped play space
 - ✱ Attenuation ponds
Indicative locations, subject to detail
 - Swales
Indicative locations, subject to detail
 - Existing vegetation retained
Within public open space
 - ✱ Pocket parks
Minimum 300sqm
 - Allotments
 - Sports pavilion/changing rooms
 - Sports pitches
 - Protected road corridor
 - Proposed residential scheme on adjacent land

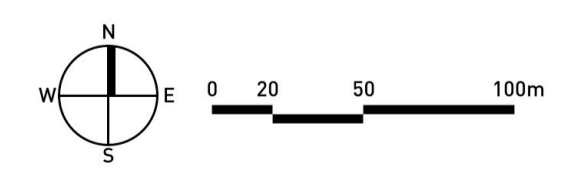


ERMINE STREET, HUNTINGDON - GREEN & BLUE INFRASTRUCTURE PARAMETER PLAN



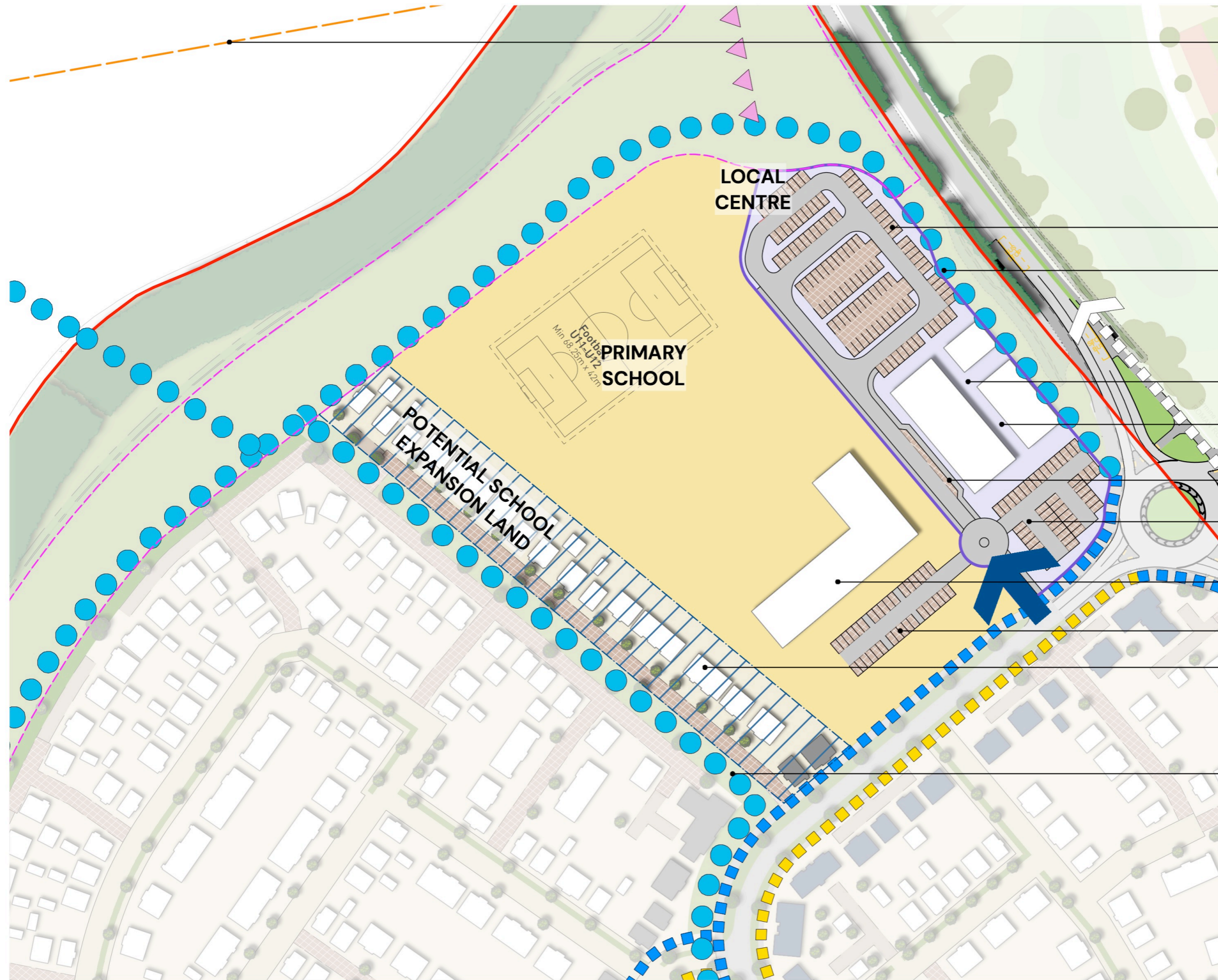


- KEY**
- Site boundary
 - Potential primary school expansion area (if not required then revert to residential C3 use)
 - Existing PRoW: Footpath retained
 - Existing PRoW: Bridleway retained
 - Existing PRoW 230/5 (footpath) to be upgraded to bridleway offsite (3m width) to incorporate existing PRoW width (3 feet)
 - Existing PRoW 133/42 (footpath) to be upgraded to bridleway onsite (6m active surface) to incorporate existing PRoW width (3 feet)
 - Existing PRoW 133/42 (footpath) to be diverted
 - Proposed PRoW 133/42 (footpath) diversion route. To be upgraded to bridleway (6m active surface, within 10m green corridor)
 - Proposed PRoW 133/42 (footpath) diversion route. To be upgraded to bridleway (6m active surface). Minimum 22m between eastern edge of bridleway active surface and western edge of Ermine Street carriageway
 - Existing PRoW 230/19 (footpath) to be extinguished
 - Proposed PRoW 230/19 (footpath) diversion route
 - Proposed bridleway (6m active surface)
 - Proposed offsite bridleway (3m width) to connect to PRoW 230/26 bridleway
 - Proposed ped only route (2m width)
 - Proposed controlled pedestrian crossing point
 - Proposed traffic light controlled junction (including pedestrian and cycle crossing point)
 - Proposed shared use foot/cycleway (minimum 3m width)
 - Proposed footway (minimum 2m width)
 - Proposed ped/cycle shared use route (to be provided by others)
- NOTE:**
The precise alignment of the proposed PRoW 133/42 diversion route is to be considered in due course when the diversion application is made to HDC/CCC.
- Surfacing and offsets to new planting to be determined subject to future management arrangements.



ERMINE STREET, HUNTINGDON - PRoW STRATEGY PLAN





- EXISTING FOOTPATH
REFER TO PROW STRATEGY PLAN
- CIRCULATION FOR TRAFFIC
- MIXED USED PARKING
- PEDESTRIANISED STREET
- MIXED USE LOCAL FACILITIES (1HA)
INCLUDING INCLUDING RETAIL (UPTO 1000SQM, NO UNIT BIGGER THAN 600SQM), A3-A5 AND D1
- UNLOADING AREA
- MIXED USED LOCAL CENTRE PARKING
- PRIMARY SCHOOL (2.3HA)
INDICATIVE BUILDING FOOTPRINT SHOWN
- SCHOOL PARKING
- POTENTIAL AREA FOR PRIMARY SCHOOL EXPANSION (0.7 Ha)
- EXISTING FOOTPATH TO BE DIVERTED, AND UPGRADED TO BRIDLEWAY
REFER TO PROW STRATEGY PLAN



ERMINE STREET, HUNTINGDON - LOCAL CENTRE AND PRIMARY SCHOOL ARRANGEMENT





- KEY - LANDSCAPE**
- Site boundary
 - Protected road corridor boundary
 - Illustrative locations of existing vegetation to be retained to BS5837
 - Indicative proposed avenue tree planting
 - Indicative proposed tree planting along primary streets
 - Indicative proposed tree planting to private gardens
 - Proposed POS feature tree planting
 - Proposed POS tree planting
 - Native buffer planting
 - Native structure planting
 - Native hedgerow planting
 - Ornamental hedgerow planting
 - Ornamental shrub planting
 - Bulb planting
 - Areas of proposed wildflower meadow
 - Areas of proposed species rich long grass
 - Areas of proposed wildflower meadow suitable for seasonally wet soils
 - Amenity grass
 - Attenuation basin/swales, to be seeded with wildflower meadow mix suitable for seasonally wet soils (usable as amenity greenspace)
 - Areas of marginal planting
 - Gravel footpath routes
 - ✳ NEAP/LEAP
 - ✳ Informal play
 - ✳ Earth mounding
 - ✳ Picnic benches
 - ✳ Seating/benches
 - ✳ Sports pavilion and parking
 - P Indicative parking for allotments
 - S Indicative community building

- KEY - PRow**
- Existing PRow: Footpath (retained off site)
 - Existing ped/cycle route
 - Existing PRow 230/5 to be upgraded to bridleway (see 230/19 and 132/44 below)
 - Existing PRow 133/42 to be diverted
 - Existing PRow 230/19 and 132/44 to be extinguished
 - Proposed PRow 133/42 diversion NMU route 4m total width (2m footpath + 2m grassed route)
 - Proposed PRow 133/42 diversion route: To be upgraded to bridleway, 6m active surface within 10m green corridor
 - Proposed PRow 133/42 diversion route: 2m footpath alongside spine road
 - Proposed NMU route, 4m total width (2m footpath + 2m grassed route)
 - Proposed ped/cycle shared use route
 - Proposed ped only route
 - Proposed bridleway connection to 230/26

Revisions:
 First Issue: 13/08/2018 LCH
 A - 14/02/2019 ASH Revised Site Boundary
 B - 02/09/2021 H/W Revised site layout, spine road alignment added
 C - 14/09/2021 H/W Spine road shown dashed only
 D - 04/02/2022 H/W Spine road alignment amended and landscape proposals amended to suit, green buffer added
 E - 07/03/2022 JNI Revised site layout
 F - 02/08/2022 H/W Pitch/MUGA/Pavilion rearranged
 G - 05/08/2022 H/W Pitch/MUGA/Pavilion further rearranged following client comment
 H - 10/11/2022 H/W Street trees amended, spine road indicative alignment removed, PRow routes updated to revised proposals
 J - 01/03/2023 H/W PRow Green Corridors added through site; Pocket Parks amended; POS amended to suit revised parcels; access routes amended in line with amended PRow specifications
 K - 09/03/2023 H/W MUGA/Pavilion moved away from retained vegetation
 L - 07/08/2023 JBD Southernmost basin removed, SE green moved; additional tree planting to sports pitch area

Concept Landscape Masterplan
Ermine Street, Huntingdon

Client: Bloor Homes
 DRWG No: **B.0375_40** REV: L
 Drawn by: JN/IBD Approved by: IBD
 Date: 07/08/2023
 Scale: 1:2000 @ A1 **Pegasus Design**

DEVELOPMENT MANAGEMENT COMMITTEE 20 NOVEMBER 2023

Case No: 23/00724/S106

Proposal: S106 DISCHARGE OF PLANNING OBLIGATIONS FOR THE REMOVAL OF REQUIREMENT TO PROVIDE AFFORDABLE HOUSING ON-SITE AND PAYMENT OF A FINANCIAL CONTRIBUTION TO SUPPORT OFF-SITE AFFORDABLE HOUSING PROVISION INSTEAD FOR 19/02280/FUL AND 21/02079/S73.

Location: HOW GARDENS, HOUGHTON ROAD, ST IVES

Applicant: THE HOW DEVELOPMENT 2 LIMITED

Grid Ref: 530116 271969

Date of Registration: 16.04.2023

Parish: ST IVES

RECOMMENDATION - Delegated powers to enter into a S106 Agreement Deed of Variation

Or REFUSE in the event that the obligation referred to above has not been completed and the applicant is unwilling to agree to an extended period for determination, or on the grounds that the applicant is unwilling to complete the obligation necessary to make the development acceptable.

The proposal is referred to the Development Management Committee (DMC) in accordance with the Scheme of Delegation as it seeks to secure additional S106 financial contributions in excess of £100,000.

1. DESCRIPTION OF SITE AND APPLICATION

1.1 The application site comprises garden land to The How, a large mid-Victorian residential dwelling situated to the south of Houghton Road and on the western edge of St Ives. At the northern end of the site is the Gate Lodge which is a separate dwelling.

- 1.2 The How stands in spacious grounds that extend down to the Thicket Path, which runs alongside the River Great Ouse. Its grounds are densely planted with trees which are protected by a Tree Preservation Order and was listed by Historic England following evidence received as part of a previous planning application. Part of The How grounds within a distance of approximately 150m of the Thicket path is within the St Ives Conservation Area.
- 1.3 The site forms part of the land allocated for residential development in the Local Plan to 2036 with allocation SI 1 'St Ives West'. The land to the east/north east of The How site is the former St Ives Golf Course which has been developed by Barratt Homes as 'The Spires'. The southern part of the former Golf Course has permission for change of use of to a publicly accessible Strategic Green Space covering approx. 8.4 hectares. Land to the west also forms part of the Local Plan allocation; the land to the immediate west (referred to within the Local Plan as the BBSRC Field Site) is owned by Homes England and an outline application was submitted in April 2023 under reference 23/00627/OUT for the construction of up to 120 homes; this application is currently pending. Further to the west is Houghton Grange which has planning applications for residential development and construction is underway.
- 1.4 Planning permission was granted under 19/02280/FUL in July 2021 for the erection of 18 dwellings and the refurbishment of the Lodge, including five units for affordable housing at The How site. Permission was granted in March 2023 under application reference 21/02079/S73 for the variation of condition C2 (Plans) for 19/02280/FUL to amend approved plans for house types A2, A4, B1 and C1, resiting of Plots 10-12 and 16-18, change of Plots 7 & 8 from 1-bed to 2-bed, change of Plot 9 from 2-bed to 3-bed and reconfiguration of driveways at the site.

- 1.5 The S106 signed as part of application reference 19/02280/FUL, and linked to the subsequent permission under 21/02079/S73, includes an obligation to provide for five affordable housing units at the site, with 80% (4 units) being for social rent and the remainder as shared ownership. The S106 agreement secured an affordable housing scheme to be submitted for approval prior to the commencement of development.
- 1.6 S106A of The Town and Country Planning Act and National Planning Practice Guidance sets out that planning obligations can be renegotiated at any point with two processes available to applicants, depending on the age of the agreement and whether there is agreement by the Council to the modification proposed. In this instance, as the S106 agreement was entered into less than 5 years ago, S106A1a the only route open to renegotiate is 'by agreement' between parties. In order to consider the acceptability of the revised obligation, and whilst this not an application for planning permission, regard is given to the relevant Local Plan policies.
- 1.7 The applicant is now seeking to remove the requirement to provide affordable housing on-site and instead pay a financial contribution to support off-site affordable housing provision. This submission has been made as the applicant has been unable to secure a Registered Provider to take on the five affordable properties due to estate management charges.
- 1.8 This submission, supported by development costs and market values, originally proposed an off-site affordable housing contribution of £286,208 in lieu of the five units on site.
- 1.9 The District Council has engaged with external viability consultants (BNP Paribas) to determine the extent of any commuted sum payable in lieu of on-site provision. Following the submission of additional information by the applicant and their agent, the viability consultants have made a recommendation to

the Council as to the level of commuted sum that should be secured in lieu, which amounts to £543,002.00; the proposal is therefore to be considered on this basis.

2. NATIONAL GUIDANCE

2.1 Section 106A of the Town and Country Planning Act 1990 (as amended).

2.3 The National Planning Policy Framework (2023) sets out the three objectives - economic, social and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2023 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).'

2.3 The NPPF 2023 sets out the Government's planning policies for (amongst other things):

- delivering a sufficient supply of homes;
- building a strong, competitive economy;
- achieving well-designed, beautiful and safe places;
- conserving and enhancing the natural, built and historic environment.

2.4 Paragraph 57 of the NPPF (2023) states that "Planning obligations must only be sought where they meet all of the following tests:

- a) necessary to make the development acceptable in planning terms;
- b) directly related to the development; and
- c) fairly and reasonably related in scale and kind to the development.

- 2.5 Paragraph 58 of the NPPF (2023) explains that it is up to the applicant to demonstrate whether particular circumstances justify the need for a viability assessment at the application stage and that all viability assessments should reflect the recommended approach in national planning guidance, including standardised inputs.
- 2.6 Planning Practice Guidance is relevant and a material consideration.
- 2.7 Paragraph: 010 Reference ID: 23b-010-20190315 states that planning obligations can provide flexibility in ensuring planning permission responds to site and scheme specific circumstances. Where planning obligations are negotiated on the grounds of viability it is up to the applicant to demonstrate whether particular circumstances justify the need for viability assessment at the application stage. The weight to be given to a viability assessment is a matter for the decision maker.
- 2.8 Paragraph: 020 Reference ID: 23b-020-20190315 notes that Planning obligations can be renegotiated at any point, where the local planning authority and developer wish to do so.

For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)
- LP4 Contributing to Infrastructure Delivery
 - LP24 Affordable Housing Provision
 - SI1 St Ives West
- 3.2 Supplementary Planning Documents (SPD) / Other Guidance
- Developer Contributions - Adopted 2011 (costs updated annually)

Local For full details visit the government website [Local policies](#)

4. PLANNING HISTORY

- 4.1 19/02280/FUL - Refurbishment of The Lodge and its retention as a single dwelling, the erection of 18 dwellings (including five units of Affordable Housing) with associated private amenity spaces and parking, the provision of public open space, landscaping, and improved vehicular and pedestrian access - PERMISSION GRANTED 28.07.2021 subject to conditions and S106 Agreement.
- 4.2 21/80335/COND - Conditional Information for 19/02280/FUL: C3 (CEMP), C4 (pre commencement site meeting - Trees), C5 (TPP), C6 (AMS), C10 (Facilitation Tree Works), C14 (Details of pedestrian step off points) and C15 (Services Installation) - DETAILS APPROVED 03.02.2023.
- 4.3 21/02079/S73 - Variation of condition C2 (Plans) for 19/02280/FUL to amend approved plans for house types A2, A4, B1 and C1, resiting of Plots 10-12 and 16-18, change of Plots 7 & 8 from 1-bed to 2-bed, change of Plot 9 from 2-bed to 3-bed and reconfiguration of driveways – PERMISSION GRANTED 09.03.2023 subject to conditions and S106 Deed of Variation.
- 4.4 22/80083/COND - Conditional information for 19/02280/FUL: C7 (Floor and Site Levels), C8 (Surface Water Drainage), C9 (Land Contamination), C11 (Access Drainage Details), C13 (Hard Surfacing) and C16 (Evacuation Drainage) - PENDING CONSIDERATION.
- 4.5 23/80232/COND - Discharge of conditions 20 (Foul water drainage scheme), 21 (Landscape management plan), 22 (Pedestrian links), 23 (Materials), 25 (External lighting), 26 (Fire hydrants) and 27 (Construction management plan) of 21/02079/S73 – PENDING CONSIDERATION.

- 4.6 23/80249/COND - Discharge of conditions 18 (Hard landscape details), 19 (Soft landscape details), 24 (Architectural details) and 29 (Cycle and bin store) for 21/02079/S73 – PENDING CONSIDERATION.
- 4.7 23/02105/NMA – Non-Material Amendment to 19/02280/FUL and 21/02079/S73 - A revised description to: Refurbishment of The Lodge and its retention as a single dwelling, the erection of 18 dwellings with associated private amenity spaces and parking, the provision of public open space, landscaping, and improved vehicular and pedestrian access - PENDING CONSIDERATION.

Of relevance, but outside of the red line site for the above applications is:

- 4.8 22/02411/FUL - Refurbishment of the main house to provide 6 no. 1 and 2 bed apartments with associated parking, refuse storage and landscaping. Remodelling the Outhouse and Stables to form a 3-bedroom dwelling – PENDING CONSIDERATION.

5. CONSULTATIONS

- 5.1 HDC Housing Enabling Officer – NO OBJECTIONS, noting that that in this particular instance an off-site contribution towards affordable housing is acceptable, and that by working with one of HDC's Registered Provider partners at least 5 affordable homes will be provided on another development.

6. REPRESENTATIONS

- 6.1 None received to date.

7. ASSESSMENT

- 7.1 The principle of the development has been established by virtue of the site's location within the built-up area of St Ives and within

the site allocation of SI1 within the Local Plan. The site also has the benefit of planning permission for residential development.

- 7.2 It should be noted that this proposal is not an application for planning permission and instead relates to revised obligations within the S106 Agreement which the development is bound by. For the avoidance of doubt, this report focuses on the impacts associated with the proposed amendment for an off-site affordable housing contribution to be made rather than on-site provision; it does not seek to repeat or re-assess the conclusions reached under permissions 19/02280/FUL and 21/02079/S73 relating to other S106 matters; the Officer Reports for these applications are viewable on Public Access.
- 7.3 Therefore, the main issue to consider in the determination of this proposal is the impact of agreeing to an affordable housing off-site contribution in lieu of an on-site provision.
- 7.4 As noted, the S106 signed as part of application reference 19/02280/FUL includes an obligation to provide for 5 affordable housing units at the site, with 80% (4 dwellings) being for social rent and the remainder as shared ownership. The original S106 agreement secures the affordable housing scheme to be submitted for approval prior to the commencement of development.
- 7.5 Application reference 21/02079/S73 identified the affordable housing units to be plots 2-5 (at the northern end of the site) and plot 6 (in the centre of the site, to the south), although no affordable housing scheme has been formally submitted as required under the original S106 agreement.
- 7.6 The applicant is now seeking to remove the requirement to provide affordable housing on-site and instead pay a financial contribution to support off-site affordable housing provision.

- 7.7 As detailed in paragraph 1.6 above, planning obligations can be renegotiated at any point. As the original S106 agreement was entered into less than 5 years ago, S106A1a is the only route open to renegotiate and is 'by agreement' between parties.
- 7.8 Policy LP24 'Affordable Housing Provision' of Huntingdonshire's Local Plan to 2036 states that in order to assist in meeting the identified local need for additional affordable homes, a proposal which includes housing development will be required to provide a range of affordable housing types, sizes and tenures. The policy notes that in exceptional circumstances it may be appropriate to accept off-site provision and/or commuted payments where this would offer an equivalent or enhanced provision of affordable housing. Supporting text at paragraph 7.11 reaffirms Policy LP24, noting that an off-site contribution may be appropriate towards the delivery of affordable housing on alternative sites.
- 7.9 The Developer Contributions SPD (2011) at section A.12 states that given the overwhelming need to provide affordable housing it will only be in very exceptional circumstances that a capital contribution/commuted sum may be acceptable in lieu of on-site provision. It is noted that the minimum sum paid will be equivalent to the market value of the land assuming private development, that would otherwise have been required to provide affordable housing, and explains that the council will appoint a suitably qualified surveyor to assess the value and developers will be required to meet the costs of this.
- 7.10 The development previously approved at The How includes extensive areas of open landscaping and woodland (covered by a Tree Preservation Order), as well as roads and on-site drainage, all of which will need to be under a management company for ongoing maintenance purposes. The applicant has confirmed that the on-going management costs associated amount to approximately £1,200 for a one bedroom home and

£1,600 for a two bedroom home per year. These costs have been generated based on the number of bedrooms proposed.

7.11 As noted above, the Council's Housing Enabling Officer has confirmed support for an off-site contribution towards affordable housing in this particular instance. It is noted that discussions initially took place between several Registered Providers (RPs) and this led to just one RP progressing matters further. The Housing Enabling Officer has explained that there are some unusual characteristics to the development, including the relatively long access road and due to overall layout/design considerations, four of the originally proposed affordable homes are located to the north and the fifth is located some distance further south. It is acknowledged that this layout makes it more difficult in achieving economies of scale than if all the affordable homes were located in one area. It is also noted that the homes are of relatively high market value and service charges are at an unusually high level (recognising the wider estate management that will include the maintenance of extensive landscaping and include a number of trees the subject of a TPO), which has created affordability issues and led to the RP reviewing its position. The Housing Enabling Officer is confident that by working with one of HDC's RP partners HDC will be able to provide at least 5 affordable homes on another development, and in this instance therefore the officer supports the option of taking an off-site contribution towards affordable housing, as this will provide the same quantum of affordable housing to meet a district wide need.

7.12 Given the comments from the HDC Housing Enabling Officer and in this particular circumstance, whereby the issue raised by the Registered Provider in relation to estate management charges cannot be overcome, the principle to agreeing an off-site contribution in lieu of affordable housing is considered to be acceptable.

- 7.13 In line with the SPD requirements whereby a capital contribution/commuted sum can be acceptable in lieu of on-site provision in exceptional circumstances; given the estate management costs and particulars of this site as detailed above, it is considered that such circumstances have been presented.
- 7.14 The Local Planning Authority have appointed an independent external viability consultant (BNP Paribas) to determine the extent of any commuted sum payable in lieu of on-site provision. The applicant has borne the costs for this independent review, in accordance with Policy LP24 of Huntingdonshire's Local Plan and the Developer Contributions SPD.
- 7.15 BNP Paribas have undertaken a full and thorough review of the details submitted and following the submission of additional information by the applicant and their agent, they have made a recommendation to the Council as to the level of commuted sum that should be secured in lieu of on-site provision. The appraisal results within the report from BNP Paribas conclude that the payment in lieu of on-site provision should amount to £543,002.00.
- 7.16 In reaching this figure, BNP Paribas have taken into account 'valid build' costs (as these are known entities) and the sold values of other dwellings on the wider site. Evidence has been submitted by the applicant's agent with regard to property values at the site and comparable sites across the local area. However, none of the comparable units are located within a 'prestigious estate' that has (as referred to by the selling agent) achieved "unprecedented" values for the area. Purchasers of the units would therefore benefit from being within the estate with the product type and specification expected to command a premium in comparison to the alternative units on the market in the surrounding area.

- 7.17 BNP Paribas have undertaken research into the local market and taken into account the location, specification and type of the units in comparison to both the units in the southern section of the site in addition to those units in the surrounding areas. The achieved values from the other units within the wider scheme are of significant importance in establishing values for the four dwellings at the front of the site closest to Houghton Road. The values associated with Plot 6 are agreed as this unit has been sold by the developer (notwithstanding the S106 and planning permission), reflecting a capital value of £400,000 equating to £471 per square foot. The units to the front of the site have been reduced slightly from that of Plot 6 to £466 per square foot, given the location of these closer to the road. BNP Paribas have advised that this amount is within the range identified in the comparable evidence and within the expected premium they would expect the units to command, taking into account size, specification and location.
- 7.18 It is noted that since the issue of the report from BNP Paribas (report dated 5 October 2023) a fire has taken place at the development site (6 October 2023) and two of the originally proposed affordable dwellings have been significantly damaged. Following discussions BNP Paribas have confirmed that their report dated 5 October 2023 is accurate as it assesses the planning permission granted (and thus the recent events which have taken place at the site do not change the off-site contribution figure).
- 7.19 The applicant has reviewed the BNP Paribas report and accepted the findings of this, including the contribution of £543,002.00 towards the provision of off-site affordable housing in lieu of on-site provision.
- 7.20 The level of off-site contribution is considered to be acceptable and is supported by the Council's Housing Enabling Officer. The contribution will go towards working with one of HDC's

Registered Providers partners to provide at least 5 affordable homes on another development, to meet district wide housing need. The proposal to change the provision of on-site affordable housing to an off-site contribution is therefore considered to be acceptable and in accordance with Policies LP4 and LP24 of Huntingdonshire's Local Plan to 2036, as the off-site contribution would offer an equivalent or enhanced provision of affordable housing.

- 7.21 Without prejudice to the determination of this proposal discussions have been held with the applicant's agent with regard the triggers for this off-site payment. The original S106 agreement signed as part of application reference 19/02280/FUL secured the delivery and transfer of 80% of the affordable dwellings (4 dwellings) to the Registered Provider before occupation of 20% of the market dwellings (3 dwellings) and for the remaining affordable dwelling to be delivered and transferred before 80% of the market dwellings are occupied (the final 11 dwellings).
- 7.22 As part of this current proposal Officers have suggested that the off-site contribution has two triggers, whereby £200,000.00 will be payable prior to occupation of the first dwelling on the site and £341,002.00 will be payable prior to occupation of the fourth dwelling on the site. These payment triggers have been accepted in principle by the applicant.
- 7.23 In all other respects the original S106 Agreement (as would be varied by the new deed) shall remain in full force and effect.

Other matters

- 7.24 A section 96a application has recently been submitted at the request of HDC (23/02105/NMA) which seeks to remove the reference to the provision of five affordable dwellings on site in the description of application reference 19/02280/FUL. This

S96A application will remain pending until this current proposal is determined.

CONCLUSION

7.25 Having regard to applicable national and local planning policies, and having taken all relevant material considerations into account, it is therefore recommended that an off-site affordable housing contribution instead of the provision of affordable housing on site as was originally envisaged is supported and in accordance with S106A(2) of the Act that this is secured through a deed of variation to the existing S106 agreement. This accords with policies LP4 and LP24 of Huntingdonshire's Local Plan to 2036.

8. RECOMMENDATION - to enter into a S106 Agreement Deed of Variation to amend the affordable housing provision

Or REFUSE in the event that the obligation referred to above has not been completed and the applicant is unwilling to agree to an extended period for determination, or on the grounds that the applicant is unwilling to complete the obligation necessary to make the development acceptable.

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs.

CONTACT OFFICER:

Enquiries about this report to **Laura Fisher, Senior Development Management Officer** laura.fisher@huntingdonshire.gov.uk

Development Management Committee



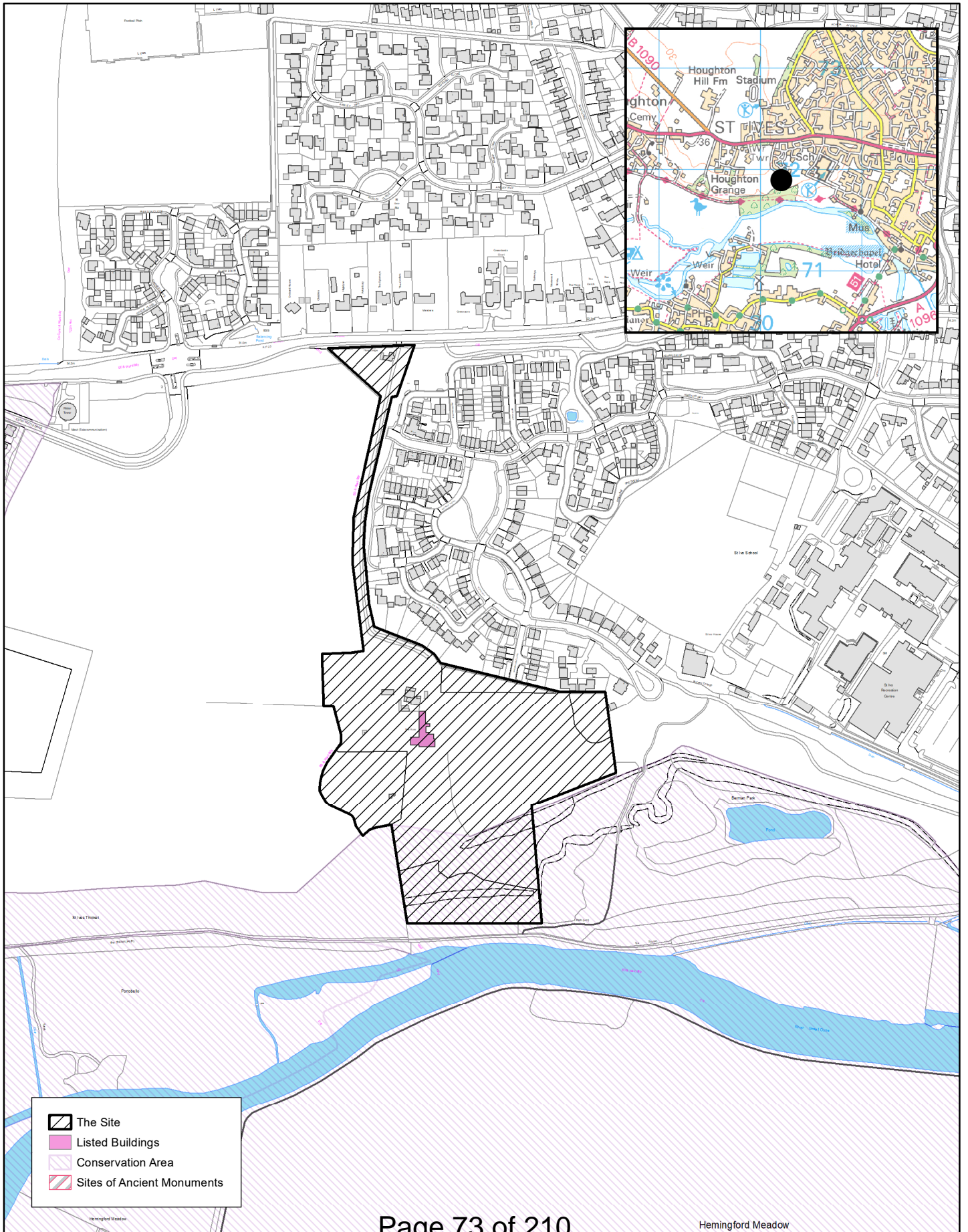
Scale = 1:5,000

Application Ref: 23/00724/S106

Date Created: 02/11/2023

Location: St Ives

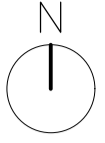
© Crown copyright and database rights 2023
Ordnance Survey HDC 100022322



The How, Land to the South of Houghton Rd, Saint Ives

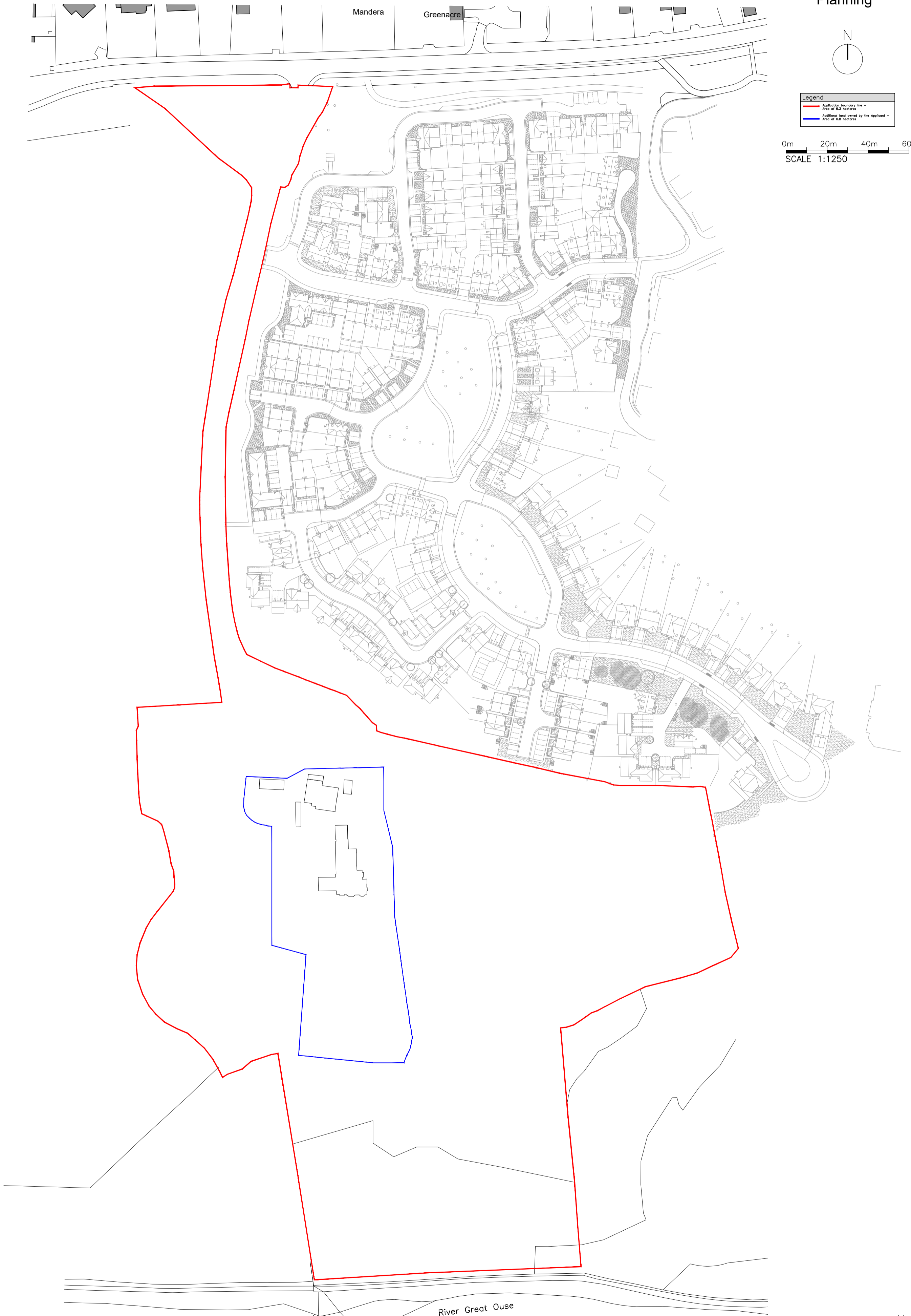
Design copyright is vested in the Company below from whom consent must be obtained for copying or reproducing this drawing.

Planning



| Legend | |
|--------|------------------------------------------|
| | Application boundary line - |
| | Area of 5.3 hectares |
| | Additional land owned by the Applicant - |
| | Area of 5.8 hectares |

0m 20m 40m 60m
SCALE 1:1250



DEVELOPMENT MANAGEMENT COMMITTEE 20th NOVEMBER 2023

Case No: 23/80349/COND
Proposal: Discharge of condition 10 (Key Phase 2 Framework) for 1201158OUT
Location: Alconbury Airfield, Ermine Street, Little Stukeley, PE28 4WX
Applicant: Mr Joe Dawson - Urban&Civic
Grid Ref: (E) 519713 (N) 276509
Date of Registration: 24th August 2023
Parish: The Stukeleys

RECOMMENDATION –

Delegated powers to **APPROVE** the Design Brief in accordance with condition 10(a) subject to amendments that address minor outstanding comments and subject to Officer support of parts (b) to (i) of condition 10.

This application is referred to the Development Management Committee (DMC) at the request of the Chief Planning Officer to seek approval of the Design Brief in accordance with condition 10(a) of the outline consent and its subsequent use as a material consideration in the determination of reserved matters applications.

1. DESCRIPTION OF SITE AND APPLICATION

- 1.1 This site relates to an area of Alconbury Weald, which has outline consent under application ref. 1201158OUT (as amended by application ref. 22/00754/NMA) and was subject to a S106 agreement and various planning conditions, allocated within the Development Plan under policy SEL1.1. Development at Alconbury Weald is subject to site wide parameter plans (approved as part of the outline consent and Non-Material Amendment) that set the overall framework of the development.
- 1.2 The area within and surrounding this part of Alconbury Weald largely comprises agricultural land with clusters of trees at Prestley Wood, and a central area to the wider Grange Farm site, known as ‘the propeller’, all of which are covered by Tree Preservation Order (TPO). The Prestley Wood TPO runs concurrently with a Schedule Monument (SM), a moated site in Prestley Wood. To east of the site, running alongside the rail line is a Site of Special Scientific Interest (SSSI), the Great Stukeley Railway Cutting. There are 3no. Public Rights of Way (PROWs) that run through the site. Footpath 230/24 runs northwards, and terminates at the edge of the former RAF runway. Bridleway 230/10 and Footpath 230/11 run east-west across the site, crossing the rail line.

- 1.3 Development at Alconbury Weald follows a 3-tiered approach with the outline consent and associated documents forming Tier 1, subsequent 'Key Phases' as Tier 2 and then the detailed elements falling under reserved matters are known as Tier 3. The S106 Agreement secures a number of elements of the permission and includes the definition and delivery of 4no. Strategic Green Spaces across the site, which includes this Country Park.
- 1.4 Condition 10, as a whole, is set out below. For the avoidance of doubt, only part a) of the condition is referred to members. All other matters remain to be delegated to officers for determination.

Key Phase Framework

Following approval of the definition of the Key Phase, and prior to the submission of the first Reserved Matters within the Defined Key Phase (other than any already submitted/approved as a reserved matter outside a Key Phase under condition no.15 below) the following shall be submitted to and approved in writing by the Local Planning Authority, in relation to the Defined Key Phase, where required;

- a) A Design Code or Design Brief, in accordance with the scope agreed.
- b) An indicative sequencing plan to set out how reserved matters applications within the Key Phase may be brought forward.
- c) A written scheme of archaeological investigation. This shall include a programme of archaeological works including (i) details of fieldwork; (ii) post excavation assessment; and (iii) post excavation analysis including preparation of site archive ready for deposition at a store approved by the Local Planning Authority; completion of an archive report; and the submission of a publication report. Implementation of the archaeological works shall proceed in accordance with the approved scheme.
- d) Where the material approved under condition No.9 proposes that a School be provided within the Key Phase or within the timescale of the Key Phase Delivery Plan, a plan identifying the site(s) and access arrangements.
- e) A Key Phase Transport Assessment adopting the scope agreed under condition No.9f above. This shall demonstrate that the level of transport movements likely to be generated by the quantum of development approved under condition No.9b, which, taking account of other Key Phases already defined (including the indicative Phase 1 assessed as part of the Transport Assessment submitted with the outline application), the progress of the development, monitoring of transport movements and existing and anticipated capacity on the highway network, and applying any proposed mitigation measures, is unlikely to give rise to a severe effect on the highway network.
- f) As identified in the Key Phase Transport Assessment; (i) a transport mitigation scheme comprising measures proposed with proposals for trigger events for the delivery of the measures (including any proposals for the periodic review of such measures) and (ii) a package of Key Phase Travel Plan measures in accordance with the Framework Travel Plan; and (iii) a package of traffic monitoring and surveys for the Key Phase.
- g) A Delivery Plan taking account of performance to date (including the discharge of obligations in respect of Reserved Matters Area Advanced Outside a Key Phase which lie within or adjoin the Defined Key Phase) setting out the proposed delivery programme in relation to each of the following as may be proposed within the Key Phase;
 - i. Any School(s) (and, if appropriate, any temporary provision) stating the likely programme for the offer of the school site and

payments (as appropriate) as required by the Section 10 agreement and based on the school delivery programme (phase, if appropriate) for the relevant School within the Section 106 agreement

ii. In order that the open space principles as defined in the Section 106 agreement are satisfied, strategic open space (including outdoor sports provision) stating the delivery programme for the relevant space which shall provide for the opening for use of the of the relevant space by the relevant backstop dates for provision, as set out in the Section 106 agreement.

iii. In order that the open space principles as defined in the Section 106 agreement are satisfied, any mega play space (including detailed design and full details of all adventure play and equipment areas, including surfacing materials).

iv. In order that the open space principles as defined in the Section 106 agreement are satisfied, any other open space or outdoor sports (and, if appropriate, any temporary provision) stating the delivery programme in order to meet the requirements of condition No.4 in relation to the Spatial Principles.

v. Any community and sports facilities (and, if appropriate, any temporary provision) stating the delivery programme with proposals for milestones within the Key Phase in order to meet the requirements of condition No.4 in relation to the Spatial Principles and to meet delivery events for the library and health facilities as set out in the Section 106 agreement.

vi. Any Early Years provision, to be promoted in accordance with the provisions of the Section 106 agreement.

vii. Primary services and drainage infrastructure including SuDS and water management infrastructure.

h) Supplements to the Site Wide Strategies to address any phase specific requirements, not other address in the Design Code/Design Brief, and as required.

i) A Sustainability Statement setting out the sustainability targets for the phase of development in terms of energy, waste and water and drainage.

1.5 The submission of a Design Code or Design Brief is required by condition 10 of the outline permission to be submitted and approved prior to the commencement of each phase of the development, amongst other requirements. This forms part of a two-stage approach, in which a definition of the Key Phase must first be submitted and approved that sets the parameters for the phase, including the quantum of development needed and the timing of infrastructure requirements; the requirement for this is set out by condition 9 of the outline consent. The definition for this Key Phase, (Key Phase 2 (KP2)) was approved under application ref. 22/80383/COND and incorporates the land uses shown in the following table.

| Land Use | Sub-Type | Quantum |
|------------------------------------------------------|------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|
| Community, Health, Leisure (D1, D2) & Retail (A1-A5) | Café/shop/cycle hire Sports Building Country Park satellite building/visitor centre/ancillary office space | Up to 200m ² plus up to 200m ² of ancillary maintenance and storage space |

| | | |
|-------------------------------|--------------------------------------------------------------|----------------------------------------------|
| | Associated Car Parking | |
| | Ancillary maintenance and storage space for the country park | |
| Open Space – Total of 62.78ha | | |
| Formal Open Space | Formal Sport | Up to 5.43 ha |
| | LEAP | 1 |
| Informal Open Space | Woodland | Up to 18.94ha (proposed) & 1.79ha (existing) |
| | Permeable Woodland | Up to 3.78ha |
| | Meadow Grassland | Up to 15.93ha |
| | Amenity Grassland | Up to 8.17ha |
| | Orchard | Up to 0.7ha |
| | Community Allotments | 1.73ha (existing) |
| | Ridge and Furrow | 6.12ha (existing) |

- 1.6 This application seeks approval for the Framework that forms KP2, which comprises part of the Country Park (as referred to by the applicants, and referred to as the “Southern Peninsula” in the outline S106) and its associated development. The Design Brief is large document containing 137 pages. It is available to view on the Council’s Public Access website under reference 23/80349/COND at the link below. Plans attached to this agenda item relate to a limited number of pages within the Design Brief, and the Regulatory Plan.

Public Access - <https://publicaccess.huntingdonshire.gov.uk/online-applications/>

What is a Design Brief/Code?

- 1.7 Design Briefs and Design Codes are a set of illustrated design requirements that provide specific, detailed parameters for the physical development of a site or area. The graphic and written components of the brief should be proportionate and build upon a design vision, such as a masterplan or other design and development framework for a site or area. Their content should also be informed by the 10 characteristics of good places set out in the National Design Guide. (PPG Paragraph: 001 Reference ID: 26-001-20191001). These 10 characteristics are:-
- Context – enhances the surroundings;
 - Identity – attractive and distinctive;
 - Built form – a coherent pattern of development;
 - Movement – accessible and easy to move around;
 - Nature – enhanced and optimised;
 - Public spaces – safe, social and inclusive;
 - Uses – mixed and integrated;
 - Homes and buildings – functional, healthy and substantiable;
 - Resources – efficient and resilient;
 - Lifespan – made to last.
- 1.8 Paragraph 129 of NPPF 2023 states that “Whoever prepares them, all guides and codes should be based on effective community engagement and reflect local aspirations for the development of their area, taking into account the guidance contained in the National Design Guide and the National Model Design Code.”

- 1.9 The aim of a Design Brief is to provide clarity over what constitutes acceptable design quality for a particular site or area; Design Briefs should however not hinder deliverability of the development and must also be flexible enough to ensure that they remain appropriate throughout the construction period of the development, and beyond.
- 1.10 Design Codes and Design Briefs are not new to Huntingdonshire, with Alconbury Weald, Wintringham Park, Brampton Park, Bearscroft, Loves Farm 1 and Loves Farm 2 all having Design Code(s) for their respective development.
- 1.11 The Design Brief has been prepared by master developer Urban&Civic in consultation with the District Council's Urban Design Officer and aims to achieve a high-quality development by setting phase-wide design requirements that each subsequent reserved matters submission should comply with. These design requirements are derived from the principles set out in the outline planning permission as part of the Design and Access Statement and inform the detailed design of each phase that will come forward as 'reserved matters' submissions, having regard to the adopted Huntingdonshire Design Guide and current national and local policy. By bridging the 'gap', the Design Brief gives certainty as to how this Key Phase will be developed, helping avoid potentially uncoordinated piecemeal and fragmented consideration and delivery of the development which could occur without a Design Brief.
- 1.12 It is a requirement of condition 10 of the outline planning permission for the Design Brief to be broadly in accordance with the principles contained in the Design and Access Statement and, as per note 40 on the decision notice of the outline planning permission, to include the following;
- a) A regulatory plan that establishes the framework for the development within each Key Phase. The regulatory plan is the key plan associated with the Design Code of Design brief, and the content of the plan and its associated key will inform the structure of the Design Code or Design Brief;
 - b) The character, mix of uses and density established through the parameter plans at the outline stage to include the block principles and the structure of public spaces;
 - c) The street hierarchy, including the principles of adopting highway infrastructure, and typical street cross sections;
 - d) How the design of the streets and spaces takes into account mobility and visually impaired users;
 - e) Block principles to establish use, density and building typologies. In addition, design principles including primary frontages, pedestrian access points, fronts and backs and perimeter of building definition;
 - f) Key groupings and other key buildings including information about height, scale, form, level of enclosure, building materials and design features;
 - g) The conceptual design and approach to the treatment of the public realm;
 - h) Approach to the incorporation of ancillary infrastructure such as pipes, flues, vents, meter boxes, fibres, wires and cables required by statutory undertakers as part of building design;
 - i) Details of the approach to vehicular parking;
 - j) Details of the approach to cycle parking for all uses and for each building type, including the distribution (resident/visitor parking and

location in the development), type of rack, spacing and any secure or non-secure structures associated with the storage of cycles.

k) The approach to the character and treatment of landscape features and the structural planting to the development areas;

l) The approach to the treatment of any hedge or footpath corridors and retained trees and woodlands;

m) The conceptual design and approach to sustainable drainage management and how this is being applied to the built-up area to control both water volume and water quality including specification of palette of sustainable drainage features to be used, and planting strategies to enhance biodiversity and improve water quality as much as possible before discharge into ponds and basins;

n) The conceptual design and approach of the public realm to include public art, materials, signage, utilities and any other street furniture;

o) The conceptual design and approach to the lighting strategy and how this will be applied to different areas of the development with different lighting needs, so as to maximise energy efficiency, minimise light pollution and avoid street clutter;

p) Details of waste and recycling provision for all building types and underground recycling points.

q) Measures to demonstrate how opportunities to maximise resource efficiency and climate change adaptation in the design of the development will be achieved through external, passive measures, such as landscaping, orientation, massing and external building features;

r) Details of measures to minimise opportunities for crime;

s) Details of Design Code or Design Brief review procedure and of circumstances where a review shall be implemented.

t) The Design Code or Design Brief that relations to Development Area 3 shall have a specific regard to the setting of Prestley Wood.

1.13 The Design Brief takes the form of a written document with illustrations, specific mandatory 'Coding Principles' elements and discretionary design guidance on these matters that future development should adhere to.

1.14 The Design Brief includes all elements of the built environment including:

- spatial components that take up land, including Green Infrastructure (open spaces and landscaping), Movement and Access (roads, paths and cycle routes), Commercial and Residential Built Form (the buildings) and Community Uses Built Form.
- non spatial components including elements such as architectural detailing, building materials, surfacing materials, street furniture, boundary treatment, public art and tree planting, and technical guidance on matters including parking provision, bin and cycle storage, water management and ecological enhancement.

1.15 As per Condition 10, a Design Brief Compliance Checklist is included within the Design Brief. Applicants will be required to submit this alongside each Reserved Matters Applications for the site. Future proposals will be expected to demonstrate full compliance with the Design Brief unless an explanatory statement which details the planning and place making benefits associated with the scheme can justify non-compliance.

2. NATIONAL GUIDANCE AND POLICY AND RELEVANT LEGISLATION

- 2.1 The National Planning Policy Framework 2023 (NPPF) sets out the three economic, social and environmental objectives of the planning system to contribute to the achievement of sustainable development. The NPPF confirms that 'So sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development...' (para. 10). The NPPF sets out the Government's planning policies for, amongst other things:
- delivering a sufficient supply of homes;
 - achieving well-designed places;
 - conserving and enhancing the natural environment;
 - conserving and enhancing the historic environment.
- 2.2 The National Planning Practice Guidance (NPPG) and the National Design Guide 2019 (NDG) are also relevant and a material consideration.
- 2.3 For full details visit the government website [National Guidance](#).
- 2.4 Relevant Legislation;
- Planning and Compulsory Purchase Act 2004
 - Town and Country Planning Act 1990 (as amended)
 - Planning (Listed Buildings and Conservation Areas) Act 1990
 - Ancient Monuments and Archaeological Areas Act 1979

3. LOCAL PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)
- LP11 Design Context
 - LP12 Design Implementation
 - LP13 Placemaking
 - LP14 Amenity
 - LP17 Parking Provision and Vehicle Movement
 - LP34 Heritage Assets and their Settings
 - SEL1.1 Former Alconbury Airfield and Grange Farm
- 3.2 Stukeleys Neighbourhood Plan (Made July 2023)
- Policy 3 – Strategic Development Delivery
 - Policy 4 – Community Engagement
 - Policy 5 – Community Facilities
 - Policy 6 – Local Green Space
 - Policy 7 – Green Infrastructure Network in Alconbury Weald
- 3.3 Supplementary Planning Documents (SPD)
- Huntingdonshire Landscape and Townscape Assessment – Adopted 2022
 - Huntingdonshire Design Guide – Adopted 2017
 - Cambridgeshire Flood and Water SPD – Adopted 2017
 - Developer Contributions – Adopted 2011 (Costs updated annually)
- 3.4 For full details visit the Council's website [Local policies](#).

4. PLANNING HISTORY

- 4.1 1201158OUT - Up to 290,000 sqm of employment floor space, including data storage and a materials recovery demonstration centre and up to 5,000 dwellings, including sheltered/extra care accommodation; a mixed use hub and mixed use neighbourhood facilities, including retail, commercial, leisure, health, place of worship and community uses; non-residential institutions including primary schools, nurseries, a secondary school and land reserved for post 16 education provision; open spaces, woodlands and sports provision; retention of listed buildings; new vehicular access points from Ermine Street and the A141, with other new non-vehicular access points; associated infrastructure; reserve site for a railway station and ancillary uses; and associated demolition and groundworks. Approved. 01/10/2014.
- 4.2 1408820COND – Key Phase 1 Definition – Alconbury Weald – Condition information for 1201158OUT – C7, C8, C9, C17, C21, C27 and C28. Approved. 08/12/2014.
- 4.3 19/80094/COND – Key Phase 1 Expansion Framework – Alconbury Weald – Conditional Information for 1201158OUT: Condition 9: Amended Key Phase 1 definition. Condition 10: Amended Key Phase Framework a) Design Code b) Indicative Sequencing Plan c) Archaeological Investigation d) School Site Plan e) Key Phase Transport Assessment f) Key Phase Travel Plan & Mitigation Strategy g) Delivery Plan h) Site Wide Strategy Supplements (Water, Ecology & Code of Construction Practice) and i) Sustainability Statement. Approved. 17/11/2020.
- 4.4 22/80383/COND – Discharge of condition 9 (Key Phase 2 Definition) for 1201158OUT. Approved. 02/02/2023.
- 4.5 22/80374/COND – Key Phase 3 Framework – Alconbury Weald – Discharge of condition 10 (Key Phase 3 Framework) for 1201158OUT. Pending Consideration.
- 4.6 19/01320/S73 – Variation of conditions 1, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 18, 20, 24, 26 and 28 for application 1201158OUT - Amended wording (see covering letter, appendix 1) and Key Phase Submission - KP2 - The Country Park (Hybrid Element). Pending Consideration.
- 4.7 19/01341/OUT – Outline planning permission (all matters reserved) for a mixed-use phased development to include - residential development of up to 1,500 dwellings (C2 and C3), local centre including retail and community facilities (A1-A5 and D1), open space, play areas, recreation facilities, landscaping, associated demolition, ground works and infrastructure. Pending Consideration.
- 4.8 22/00754/NMA – Application for Non-Material Amendment to 1201158OUT - Revise Parameter Plan and Development Specification to (i) Relocate 'The Hub' within the site, (ii) Expand open space adjacent the secondary school and relocate employment floorspace to other parts of the Enterprise Zone and (iii) Adjust indicative locations of second and third primary schools, together with associated amendments to Conditions 4, 14, 24 and 26 to update the drawing reference of the Parameter Plan. Approved 01/06/2022.

5. CONSULTATIONS

Officer Note – The following consultations only include those relevant to the Design Brief, and matters relating to other requirements under condition 10 are not included.

- 5.1 The Stukeleys Parish Council – no comments received
- 5.2 Alconbury Weston Parish Council (copy attached) – The parish decided that they neither support nor object to this planning application.
- 5.3 Alconbury Parish Council (copy attached) – Alconbury Parish Council have no material observations to make on this application.
- 5.4 HDC Urban Design –The County Park Design Brief has been prepared in close collaboration with Urban Design as part of pre-application discussions and the previous 19/01320/S73 application submission which has informed the mandatory design fixes, supporting design guidance and development objectives. The Brief draws upon national and local best practice, landscape, biodiversity, and urban design guidance and will ensure the highest standards of design is delivered when preparing and considering subsequent Reserved Matters Applications.

The Design Brief is acceptable in design terms subject to minor text changes to ensure areas of open water do not count towards the open space calculations in accordance with the HDC Developer Contributions SPD 2011 and HDC Design Guide SPD 2017.

- 5.5 British Horse Society – Objection. There is insufficient clarity in the document and inconsistent terminology which makes it ambiguous as to what will be delivered. There appears to be an error in reference to Public Right of Way 230/10, which does not end in a dead end. There should be no stopping up of PROWs until alternative routes are agreed. It is unclear what is proposed along the Strategic Link. The document would benefit from a glossary that sets out the terms proposed. There is no reference to maintenance responsibilities or funding.
- 5.6 Environmental Health – No objection in principle. It is recommended that the development adheres to the Fields in Trust Guidance regarding separation distance for play spaces, but this can be assessed at reserved matters stage.
- 5.7 Cambridge County Council - Lead Local Flood Authority – No objection to the Design Brief. Details of Surface Water Management are to be dealt with separately under the appropriate conditions.
- 5.8 HDC Conservation Officer – No objections. There are no designated heritage assets apart from the Scheduled Monument that Conservation would be concerned with and the Ridge and Furrow is being preserved.
- 5.9 Historic England – No objections.
- 5.10 Cambs Police – No objections. It is important that security and crime prevention are discussion at the earliest opportunity and the development should incorporate the principles of “Secured by Design” to design out and reduce opportunities for Crime. NMU connections

should be straight with clear visibility and a minimum of 2m wide, with trees crown raised at 2m and hedging kept to 1-1.2m. Light should be to the British Standard and should be columns to provide sufficient safe visibility. Bollard lighting is only appropriate for wayfinding and should not be the primary lighting source.

- 5.11 Sport England – No objection.

6. REPRESENTATIONS

- 6.1 No other representations received.

7. ASSESSMENT

- 7.1 As determined under application 22/80383/COND a Design Brief (rather than a Design Code) is considered the appropriate approach to setting the design principles of this Key Phase. The development has limited built form and a small range of land uses, with most uses largely included to support the wider open space provision.
- 7.2 The Design Brief is set out in six chapters, including the introduction. Officers have approached the assessment below on the basis of those chapters.
- 7.3 The main issue to consider in the determination of this application is whether the submitted Design Brief accords with the broad principles in the Design and Access Statement and the coding matters as required in Note 40. The Brief shall also conform with the approved Parameter Plans that form part of the outline consent, as amended by 22/00754/NMA.
- 7.4 Officers note that the area for this Key Phase approved under condition 9 does not cover the entirety of the area otherwise identified within the site wide Parameter Plan as forming the Country Park. Application 19/01341/OUT is currently pending consideration for alternative proposals within this area, and as such the future of this area of land is uncertain. As approved within the Key Phase Definition (ref. 22/80383/COND) the element of land that will form the Country Park as known at this stage is to advance under this application, in order to commence that Strategic Open Space in accordance with the provisions of the Section 106 Agreement that forms part of the Outline Planning Permission.
- 7.5 It should be noted that this Design Brief has previously been considered as part of application 19/01320/S73. It has been submitted separately at this time to progress the Country Park noting discussion are ongoing on other elements of that application, but at the time of this report no objections had been received to the Design Brief on that application.
- 7.6 It is noted that references to future development in Grange Farm are included within this document, notably in relation to application 19/01341/OUT that is pending consideration. Notwithstanding the status of that application, and as it has not yet been fixed, officers consider that its reference in this Design Brief does not give rise to any material conflict in its consideration if that application is not approved, in light of the determination under application 22/80383/COND. Namely, this

application is for part-discharge of a planning condition (not a standalone planning application) and submitted in relation to the Country Park to enable its progression, but further submissions, and a potential Design Brief overlap, may be required for the Grange Farm element of Alconbury Weald if the separate outline application was not supported.

Introduction and Context

- 7.7 The Outline Planning Permission (OPP) established a set of design principles used to support design quality across the development, and which will underpin the more detailed designs as the development progresses. The following principles are noted as particularly relevant to this element of the wider development;
- Connecting Woodlands – creation of over 90 hectares of new woodland.
 - Replenishing Grasslands – delivery of large areas of new species rich grassland.
 - Recycling Water – capturing, storing and recycling rain and surface water.
 - A variety of landscape responses to development edges
 - A ‘Green Wedge’ land providing a green buffer along the edge of the Stukeleys.
 - Food production – extensive provision of allotments and community orchards.
- 7.8 KP2 includes the Country Park, a significant area of open space, with limited other uses. Any such uses are interlinked with the Country Park, designed to support its use as open space and not act so independently as to warrant detailed consideration as a standalone element of the development. As such, it is considered these principles are appropriately reflective of the central aspects of KP2, and any design around built form should be led by these principles.
- 7.9 The Design Brief has also set out its overarching vision, in providing landscapes that support a range of needs. Such landscapes will be diverse, promote community activity, promote healthy activity, and be productive. The Design Brief further sets out the specific approaches to how these interventions will be delivered.
- 7.10 Diverse landscapes will focus on creating and connecting woodlands, to conserve and enhance Prestley Wood, strengthen green links through the site and support new and established green infrastructure networks. The development will establish species rich grasslands within formally arable agricultural land, to promote biodiversity and create multifunctional community space. This will also be supported through integrated wetlands as part of sustainable drainage networks that aim to utilised water, and promotion of pollinator species.
- 7.11 The community focus will seek to respect heritage features, including the setting and controlled access to these assets. Parkland destinations will be created that offer spaces for enjoyment and a range of social activity and enable social access. Connections will be supported to surrounding uses and others, including existing allotments shared with the Stukeleys.
- 7.12 Promoting an active landscape will be delivered through the creation of public sport facilities and integrating fitness trails throughout the

development. Playable spaces will be designed to accommodate a range of ages and abilities, and a network of multi-user routes will deliver access across the phase and connect to the wider right of way network for all non-motorised users (NMUs), using a range of distances and a variety of surfaces and width.

- 7.13 The development will support productivity within the site through the provision of community allotments, supported by the creation of community orchards. Integrated foraging trails will provide edible berry and nut trees, also supporting biodiversity in delivering a range of foods. Sustainable land management practices will be adopted, utilising the opportunities afford to provide returns that will support the maintenance of the Country Park.
- 7.14 On the whole, officers consider these design interventions are an appropriate approach to meeting the design principles and deliver the strategic open space. They are considered to support a high-quality design within the Country Park, while providing sufficient flexibility within the development to enable responses to the site-specific circumstances as the development progresses.

Green Infrastructure

- 7.15 The Green Infrastructure chapter of the Design Brief focuses on the opportunities of the development to contribute to and promote green infrastructure within the site and support ecological priorities for habitat and species in the area. Such green infrastructure will connect to and support the wider network connections to, from and through the site.
- 7.16 In practice, the focus within this section is on the different components of green space that will collectively make up the Country Park, the design aspirations that will be used to support each element and its functions, and how its constraints and features will be supported and protected through the development. Largely, these components correspond to different areas of landscape, for example the individual woodlands, the meadows and the interfaces with the adjoining areas of development. The following components comprise the Country Park, together with a brief overview of their function.
- 7.17 Prestley Wood – Protects the Prestley Wood Schedule Monument, providing limited access to enable appreciation and understanding of the heritage asset. Any physical structures will be limited and designed to avoid significant ground works that could interfere with archaeological deposits.
- 7.18 Prestley Wood Park – The large space will provide opportunities for informal recreation, picnic and community events. It must provide an offset from adjacent areas of development to provide protection for the setting of Prestley Wood.
- 7.19 Alkmonbury Woodlands – Views from heritage assets will be respected through the layout and planting in this area. Proposals will support and retain existing hedgerows and enhance the green infrastructure network. The majority of space will be designed to support the local community, allowing access and informal recreation. Areas will be designed and managed to support biodiversity and encourage habitat. New and

improved links will be provided through the woodlands to support connectivity.

- 7.20 Permeable Woodlands – Permeable Woodlands will be provided to mitigate impacts of the development in accordance with Chapter 7 of the OPP Environmental Statement. They will provide small amenity areas at a domestic scale, and support movement for wildlife as part of the green infrastructure network.
- 7.21 Prestley Meadows – Provides open meadow habitat to support biodiversity, and act as an educational, recreational and amenity resource. The area will support green infrastructure connectivity and act as a transitional area from woodlands.
- 7.22 Country Park Interfaces – These areas will be significantly variable along the length of the Country Park. They will respond and act as transitions between the Country Park and the different forms of development that surrounds it. This is also supported by indicative sections within the Design Brief to demonstrate how different transitions might function.
- 7.23 Green End Common and Washingley Farm Fields – This area will include community food production and particularly support appreciation of the historic ridge and furrow as a heritage asset, including a range of productive uses such as orchards and foraging trails. Management of these spaces will balance ecological objectives and recreational uses.
- 7.24 The Fields – These will provide formalised sport pitches, and act as a key destination at the northern end of the Country Park. Pitches will support a variety of sports, with the area also incorporating play equipment to support activity across a range of ages.
- 7.25 Each component of the Country Park is identified in detail, and the Design Brief sets out its intended function, size, approximate location, the physical features that will be created within it and the approach to materials. Officers note that a balance is struck across these areas between accessibility and seeking to limit access to more sensitive areas, including those parts of the site that comprise heritage assets or that promote biodiversity and support habitat creation. This is considered appropriate to support the multiple function the Country Park will need to provide.

Movement & Access

- 7.26 The Movement and Access chapter focuses on connections across and from the Country Park for a both motorised and non-motorised users, including parking areas and connections that might arise to land adjoining Alconbury Weald where it adjoins third party land.
- 7.27 In terms of motorised vehicles, such as cars and HGVs, access arrangements will be limited, largely focused to the north. The Southern Access Route, approved under separate applications, to east of the wider site, will provide the wider network connections. Vehicle access into the Country Park will be limited to the north alongside the visitor centre/sports pavilion, to support those sport uses. A potential connection to the St Johns land to the south of the site will be considered in detail if it is delivered, but at this stage there is insufficient

understanding on the possibility of that access, and whether that might instead form part of a realigned A141 or be standalone.

- 7.28 Non-Motorised User (NMU) routes will accommodate a range of users. Main routes will support Bridleways through a 6m corridor with a 3m/3m divide between hard and soft surfaces that will be able to accommodate a range of users. These larger routes will be supported through lower tier connections, including informal paths at 2m widths, and mown grass paths that will be changed seasonally to avoid rutting.
- 7.29 Officers note the British Horse Society (BHS) objection to the provision of different hierarchies of routes that support different users, and they consider that there is insufficient information to understand what will be provided on the ground. Officers consider that the route arrangements will support a wide range of users, not just equestrians, and the Design Brief is expressly clear that access for all is a key principle, and all users will be considered at detailed design stage. It is not for the Design Brief to be prescriptive of the exact materials, width and alignments of all routes, as this would not give the flexibility needed to respond to the specifics of the development as it comes forward, though it should be noted a materials palette forms part of a later section that indicates a range of types of material that may be considered.
- 7.30 The County Rights of Way team, who assess proposals for all NMUs have raised no objection, though highlight there are separate processes that will need to be followed to alter and create formal Public Rights of Way. On the whole, is considered the proposal has adequately provided the framework for NMUs to access the Country Park and its different uses.

Built Form

- 7.31 This section includes minimal detail on the whole, noting that the only notable built form is the pavilion that supports the formal sport provision. Any other elements of built form, for example any pergolas or sheds to support food production areas, would be sufficiently small scale that they could be adequately considered during reserved matters stage.
- 7.32 The design approach to the pavilion is noted as being barn-like, with the artists impression indicating the use of modern materials and designs in the overall barn-like structure. In principle, the approach will be to provide flexibility within the space in the building. It is intended to provide a range of functions, including as a sports hub, storage, bike repair store, changing room, toilets, office space to support the park and a refreshments kiosk. The extent of these uses will need to be considered at the detailed design stage in order to address the needs of users of the Country Park.
- 7.33 It noted that the Design Brief has not provided any substantial detail on sustainability measures to be provided although it is included within Note 40 of the decision notice (as set out in para. 1.12 above). It should be noted that condition 20 of the outline consent requires all development to seek in excess of the Building Regulations in place at the time of the Key Phase being determined and in accordance with the Sustainability Statement required by condition 10(i). This application is accompanied by a Sustainability Statement under other requirements of condition 10, which includes details of the measures to be provided (including

reductions in energy needs through building fabric and sustainable generation, use of water efficient design and appliances, and the reuse of on-site construction material to reduce waste). That document is not for consideration as part of this item as it falls outside of the Design Brief and remains a matter to be delegated to officers. Noting the minimal scale of built form, it is not considered necessary to include further details of sustainability measures in the Design Brief. Officers consider this is more appropriately covered by the Sustainability Statement as part of that more detailed assessment in this instance. Furthermore, any reserved matters application will need to demonstrate with the approved Sustainability Statement in accordance with condition 18(n) of the outline planning permission.

- 7.34 While this section is limited in terms of detailed design, given this is the only notable building within the Country Park officers consider this limited detail is acceptable. It is not considered that there are any reasons that would indicate an acceptable design arrangement could not come forward that will accommodate the building and appropriately balance its public facing aspects with the more private, back-of-house elements.

Detailing the Place

- 7.35 This section of the Design Brief is detail focused, predominantly setting out the parameters for materials to be used, access and wayfinding strategy, planting palettes, public art strategy and management approach.
- 7.36 In terms of hard materials, such as hardstanding, street furniture, and boundary treatment, this is generally approached on the basis of functionality and reflective of the specific character area it would support. Surfacing is predominantly bound material, with grassed routes running concurrently with the primary routes, to accommodate a range of users. Street furniture will be placed at regular intervals and around areas that are likely to attract greater intensities of use. The Design Brief incorporates examples of the type of materials and furniture, which are generally naturalistic in appearance, or would give rise to minimal visual impact. Boundary treatment will be more varied, between more informal boundaries created by swales or more formalised estate rails. These will be utilised in different forms within the different elements that comprise the Country Park, to support the character of those areas.
- 7.37 In terms of planting, the Design Brief sets out a number of principles as to how planting will respond across the Country Park to existing vegetation and the various uses that will need to be incorporated. The approach to each type of planting (such as woodlands, hedgerows and grasslands etc.) is also set out. These are considered to represent generally acceptable approaches, noting that the specifics of planting will need to be considered in detail at reserved matters stage.
- 7.38 The Design Brief sets out different planting palettes in more detail, seeking to utilise planting to act as or support features, and suggesting species that are examples of how planting might be accommodated. UK Native species are favoured, but flexibility is allowed to support diversity, and noting the local climate. This is considered an appropriate approach to planting that will enable sufficient flexibility in each character area.

- 7.39 Whilst not a matter considered necessary within the Design Brief, it is noted that management arrangements are proposed to be determined at individual reserved matters stage. In light of the variety of functions the Country Park will include, and that different elements of these uses will likely be function together, this is considered an appropriate approach. It will enable management proposals to respond to the full design of the Country Park.

8. Conclusions

- 8.1 Taken as a whole, the Design Brief shows the key components of creating a high-quality Country Park that supports this element of the wider Alconbury Weald development. It is considered to provide a suitable framework to create a sense of place through the appropriate balance of mandatory Coding Principles and discretionary design elements, based on an understanding of the context of the site and its surroundings, and the place this element of the wider development will play.
- 8.2 Coding and design guidance is provided on all the relevant matters within Note 40 of the decision notice, and the broad principles of the Design and Access Statement of the Outline Planning Permission, and has had appropriate regard to current guidance and policy. It is considered the Design Brief is compliant with these elements, and in broad accordance with the Parameter Plans that accompanied the Outline Planning Permission as amended by 22/00754/NMA given that it relates to a section of the wider area shown to be Country Park.
- 8.3 Officers are satisfied the Design Brief will contribute to simplifying the process of achieving a high-quality development of the Country Park in support of Alconbury Weald. It will give more certainty and avoid piecemeal or fragmented delivery, and aid in the efficient determination of Reserved Matters applications by the Local Planning Authority.
- 8.4 As noted within this report and in the recommendation, there a number of amendments needed to the wording in the Design Brief to address consultee comments, namely in clarifying certain sections and correcting an error in reference to footpaths. These are considered minor as they do not change the approach or nature of each element of the code. A working schedule of these changes, highlighting the pages and changes to be made, is included in Appendix A.

9. **RECOMMENDATION - Delegated powers to APPROVE the Design Brief in accordance with condition 10(a) subject to amendments that addresses minor outstanding comments and subject to Officer's support of parts (b) to (i) of condition 10.**

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs.

CONTACT OFFICER:

Enquiries about this report to **Aaron Sands, Senior Development Management Officer** aaron.sands@huntingdonshire.gov.uk

Appendix A – Working list of changes to be made to KP2 Design Brief

Cover and P1 : October 2023 date.

Pg26: reference to footpath 230/24 added and final paragraph redrafted.

Pg27: Image updated to show FP 230/24 tag.

Pg34: Note added to clarify MUATR typology.

Pg46: reference to footpath 230/24 added.

Pg55: Clarified 'Strategic Link' terminology and path typologies in legend.

Pg61: Legend text updated.

Pg63: Materials text ref back to Section 4.2. Legend updated.

Pg66: Materials text ref back to Section 4.2.

Pg67: Legend updated and Bridleway/Strategic Link added to diagram.

Pg71: Removed use of 'Formal' to avoid ambiguity.

Pg72: Materials text ref back to Section 4.2.

Pg73: Legend updated.

Pg76: Materials text ref back to Section 4.2. Clarified what a mown route is. Removed use of 'Formal' to avoid ambiguity.

Pg77: Legend updated and Bridleway/Strategic Link added to diagram.

Pg78/79: Legend and text updated to avoid ambiguity.

Pg81: Legend updated.

Pg86: Materials text ref back to Section 4.2. Stated that PRow stays on current alignment.

Pg87: Legend updated.

Pg90: Materials text ref back to Section 4.2.

Pg91: Legend updated.

Pg96: Text rewritten to define path Typologies more clearly. Clarify parties to agree changes to Active Travel routes.

Pg97: Legend updated.

Pg98: Text tweaked to be less specific about cycle use etc.

Pg107: Palette titles updated to reflect Section 4.2.

Pg108: reference to dismounting at roads removed.

Pg117: Legend amended to clarify 'Strategic Link'

Pg120: 6-06/07 Image description updated.

Subject:
Date:

RE: Planning Permission Consultation - Alconbury Airfield Ermine Street Little Stukeley (ref 23/80349/COND)
28 September 2023 14:37:05

Dear Planning

Alconbury Parish Council have no material observations to make on this application.

Kind regards

[REDACTED]

Clerk to Alconbury Parish Council
www.alconburyparishcouncil.gov.uk

(Part time hours)

This email and any files transmitted with it are confidential and intended solely for the use of the individual or entity to whom they are addressed. If you have received this email in error please notify the system manager. This message contains confidential information and is intended only for the individual named. If you are not the named addressee you should not disseminate, distribute or copy this e-mail. Please notify the sender immediately by e-mail if you have received this e-mail by mistake and delete this e-mail from your system. If you are not the intended recipient you are notified that disclosing, copying, distributing or taking any action in reliance on the contents of this information is strictly prohibited"

[REDACTED]

Sent: Monday, September 4, 2023 11:05 AM

[REDACTED]

Subject: RE: Planning Permission Consultation - Alconbury Airfield Ermine Street Little Stukeley (ref 23/80349/COND)

Dear Parish Clerk,

Please find correspondence from Development Management at Huntingdonshire District Council attached to this email in relation to the following application for planning permission.

Proposal: Discharge of condition 10 (Key Phase 2 Framework) for 1201158OUT

Site Address: Alconbury Airfield Ermine Street Little Stukeley

Reference: 23/80349/COND

Opting out of email correspondence

We are continually striving to improve the service we deliver to our customers. As part of this we are now contacting our customers by email where possible in an effort to provide a faster, more efficient service.

If you would prefer not to receive correspondence from us via email you have the right to opt out. If you wish to opt out please contact us at the address provided below so that we can remove your email details from our records.

Keeping safe on the internet

You should never open a file attached to an email when you do not trust the sender's authenticity.

We will only contact you via email when you have already contacted us in relation to this specific application (or one directly related to it) and provided your email address as a contact - we will not transfer your contact details between unrelated applications.

If you have any doubts or concerns relating to this email please contact us directly, our contact details are provided below.

Development Management
Huntingdonshire District Council

T: 01480 388388



Disclaimer

The information contained in this communication from the sender is confidential. It is intended solely for use by the recipient and others authorized to receive it. If you are not the recipient, you are hereby notified that any disclosure, copying, distribution or taking action in relation of the contents of this information is strictly prohibited and may be unlawful.

This email has been scanned for viruses and malware, and may have been automatically archived

Aaron Sands

From: Parish Clerk <parishclerk@alconburyweston-pc.gov.uk>
Sent: 26 September 2023 07:00
To: DMAdmin
Subject: RE: Planning Permission Consultation - Alconbury Airfield Ermine Street Little Stukeley (ref 23/80349/COND)

Good morning,

The parish decided that they neither support nor object this planning application.

Kind regards

Louise

From: Dmadmin@huntingdonshire.gov.uk <Dmadmin@huntingdonshire.gov.uk>
Sent: Monday, September 4, 2023 11:04 AM
To: Parish Clerk <parishclerk@alconburyweston-pc.gov.uk>
Subject: RE: Planning Permission Consultation - Alconbury Airfield Ermine Street Little Stukeley (ref 23/80349/COND)

Dear Parish Clerk,

Please find correspondence from Development Management at Huntingdonshire District Council attached to this email in relation to the following application for planning permission.

Proposal: Discharge of condition 10 (Key Phase 2 Framework) for 1201158OUT

Site Address: Alconbury Airfield Ermine Street Little Stukeley

Reference: 23/80349/COND

Opting out of email correspondence

We are continually striving to improve the service we deliver to our customers. As part of this we are now contacting our customers by email where possible in an effort to provide a faster, more efficient service.

If you would prefer not to receive correspondence from us via email you have the right to opt out. If you wish to opt out please contact us at the address provided below so that we can remove your email details from our records.

Keeping safe on the internet

You should never open a file attached to an email when you do not trust the sender's authenticity.

We will only contact you via email when you have already contacted us in relation to this specific application (or one directly related to it) and provided your email address as a contact - we will not transfer your contact details between unrelated applications.

If you have any doubts or concerns relating to this email please contact us directly, our contact details are provided below.

Development Management
Huntingdonshire District Council

T: 01480 388388

E: dmadmin@huntingdonshire.gov.uk

Disclaimer

The information contained in this communication from the sender is confidential. It is intended solely for use by the recipient and others authorized to receive it. If you are not the recipient, you are hereby notified that any disclosure, copying, distribution or taking action in relation of the contents of this information is strictly prohibited and may be unlawful.

This email has been scanned for viruses and malware, and may have been automatically archived

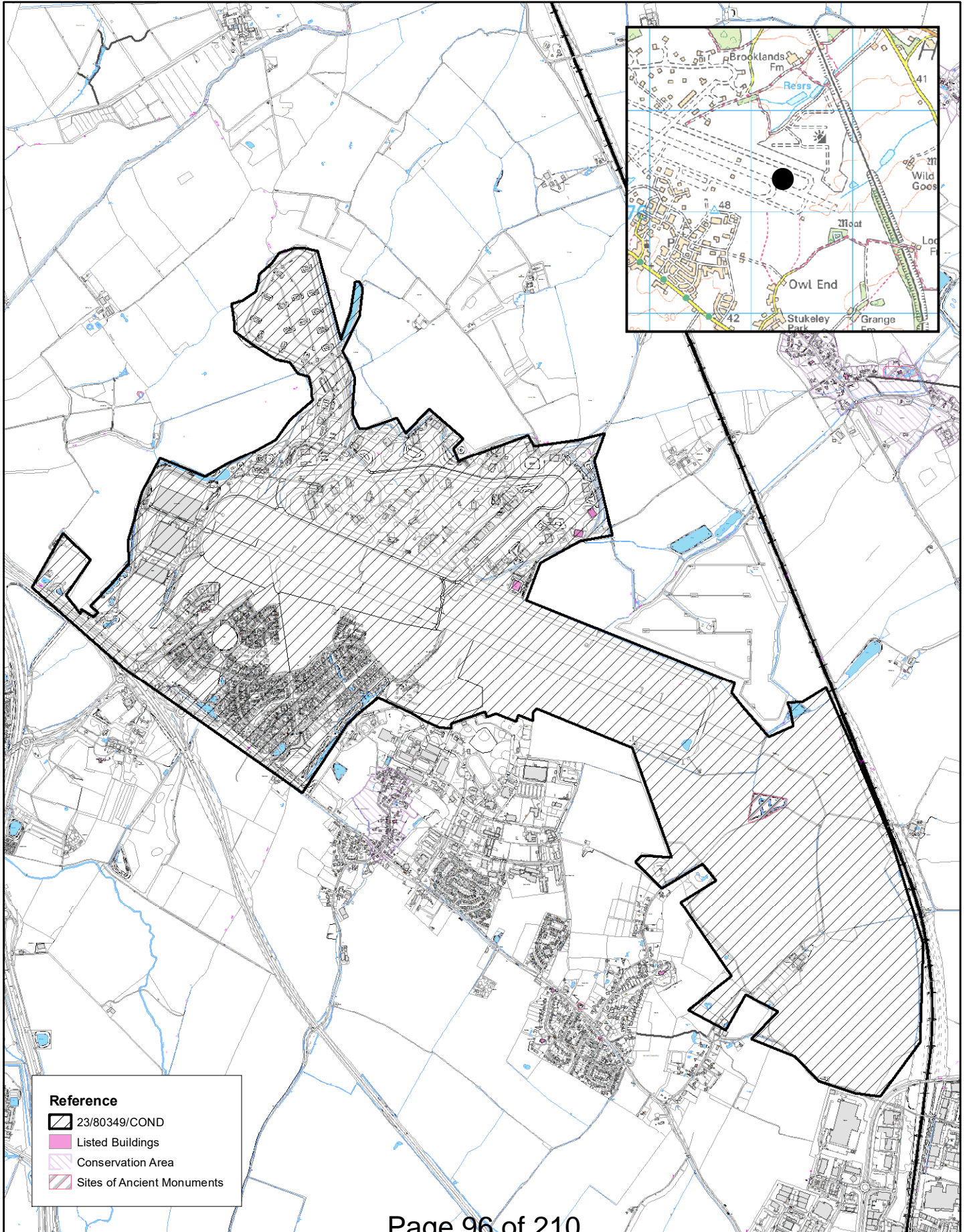
Development Management Committee







Scale = 1:25,750
Date Created: 31/10/2023

Application Ref: 23/80349/COND

Location: The Stukeleys



Reference

-  23/80349/COND
-  Listed Buildings
-  Conservation Area
-  Sites of Ancient Monuments

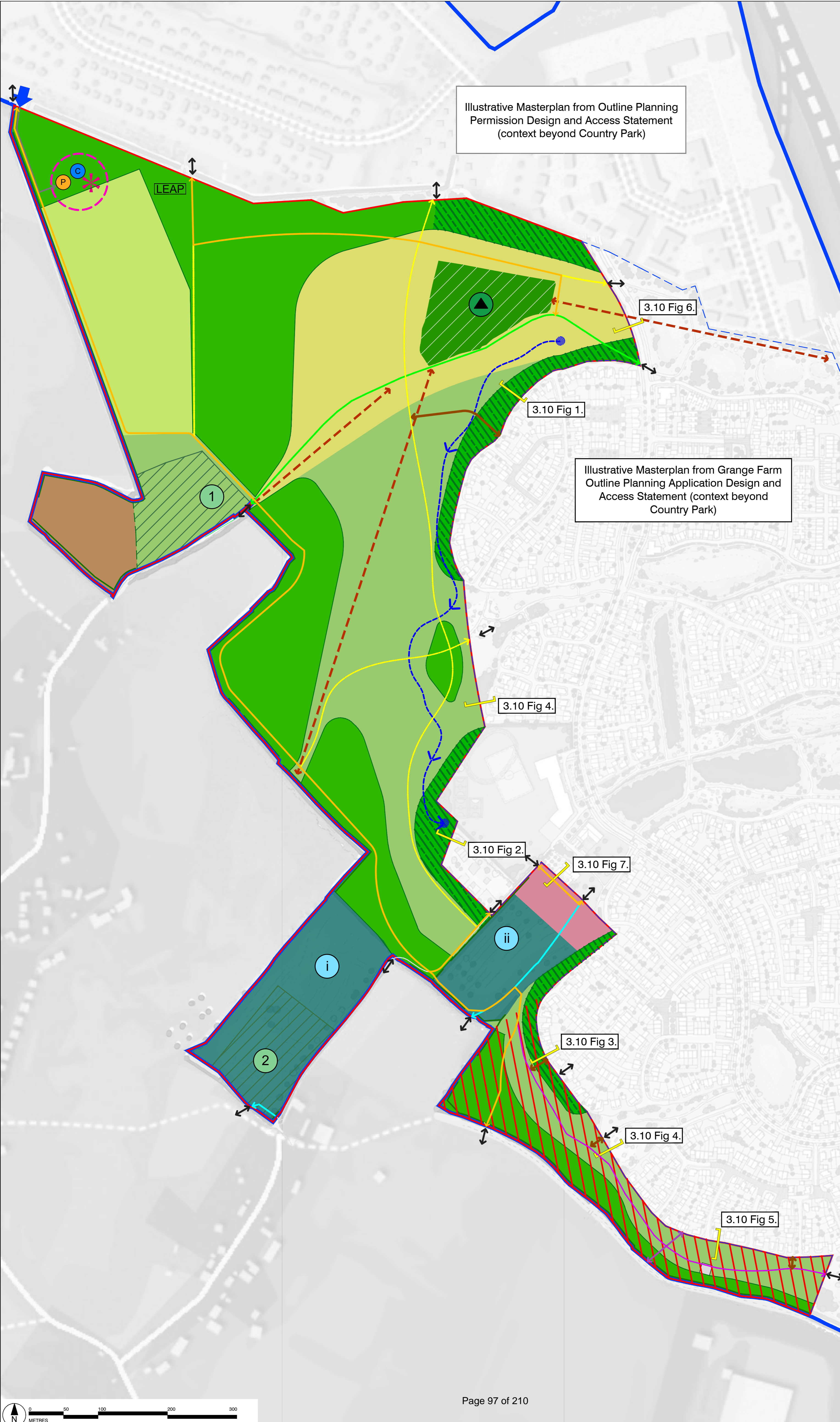
This drawing is the property of Bradley Murphy Design Ltd. Copyright is reserved by them and the drawing is issued on the condition that it is not copied, reproduced, retained nor disclosed to any unauthorized person either wholly or in part without the consent of Bradley Murphy Design Ltd.

- NOTES:
1. THIS DRAWING IS BASED ON XXXXX
 2. THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL OTHER LANDSCAPE DRAWINGS AND DOCUMENTS
 3. THIS DRAWING IS NOT INTENDED FOR CONSTRUCTION DO NOT SCALE FROM THIS DRAWING
 4. DO NOT SCALE FROM THIS DRAWING
 5. ANY DISCREPANCIES WITHIN THIS DRAWING OR BETWEEN THIS DRAWING AND ANY OTHER INFORMATION IS TO BE REPORTED TO BMD FOR CLARIFICATION

2. Context
- Boundaries
- Overall Planning Permission Boundary
 - Key Phase 2 Country Park Boundary
 - Undesignated Land
 - Land safeguarded for potential future re-aligned A141
- PART B: SPATIAL
3. Green Infrastructure
- 3.1.2 Inherited landscape
- Existing foul water pumping station
 - Existing hedgerows (to be retained)
 - Scheduled Monument
 - Shrunken Villages
 - 1) Owl End
 - 2) Green End
 - Ridge & Furrow
 - i) West of Washington Farm
 - ii) South of Grange Farm
- 3.1.4 Important views/vistas
- 3.1.5 Indicative pond and field ditch alignment (to connect to existing outfall)
- 3.1.6 Key destination
- 3.5 Prestley Wood: Scheduled Monument
 - 3.6 Prestley Wood Park: Amenity grassland
 - 3.7 Alconbury Woodlands
 - 3.8 Permeable Woodlands
 - 3.9 Prestley Meadows: Meadow grassland
 - 3.10 Park Interfaces
 - 3.11 Green End Common: Orchards
 - 3.12 The Fields: Formal sport provision
4. Movement & Access
- 4.1 Vehicular access point
 - 4.1 Indicative car park location
 - 4.1 Shared surface road
 - 4.1 Potential vehicular connection to St. Johns Land
 - 4.2 Indicative cycle parking location
 - 4.2 Indicative Multi-user Active Travel connections within Green Infrastructure
 - 4.2 Indicative existing Public Footpath (alignment to be retained)
 - 4.2 Indicative existing Public Bridleway (alignment to be retained)
 - 4.2 Indicative new Public Bridleway
 - 4.2 Indicative permissive foot & cycle leisure route
 - 4.2 Indicative proposed connections to future development
 - 4.2 Indicative Multi-user Active Travel Routes
5. Built Form
- 5.1 Indicative sports pavilion location
- PART C: DETAILING THE PLACE
- 6.5 Indicative LEAP location

Illustrative Masterplan from Outline Planning Permission Design and Access Statement (context beyond Country Park)

Illustrative Masterplan from Grange Farm Outline Planning Application Design and Access Statement (context beyond Country Park)



| Rev | Description | Date |
|-----|---------------------|----------|
| C | PROW LAYOUT UPDATED | 24.09.21 |
| B | MINOR AMENDMENTS | 16.12.20 |
| A | UPDATED LAYOUT | 13.12.20 |

Purpose of Issue
PLANNING

Bradley Murphy Design Ltd
6 The Courtyard
Hatton Technology Park
Dark Lane
Hatton
Warwickshire
CV35 8XB

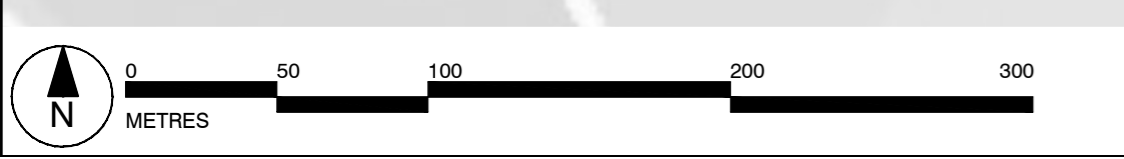
t: 01926 676496
e: info@bradleymurphydesign.co.uk
www.bradleymurphydesign.co.uk



Client
Urban & Civic

Project
Country Park, Alconbury Weald

| Drawn | Checked | Approved | Date |
|----------------|---------|------------|------------|
| ED | JJ | DS | 23/05/2019 |
| Job No. | Scale | Sheet Size | Revision |
| BMD.18.027 | 1:2500 | A1 | |
| Drawing Number | C | | |
| BMD.18.027.005 | | | |



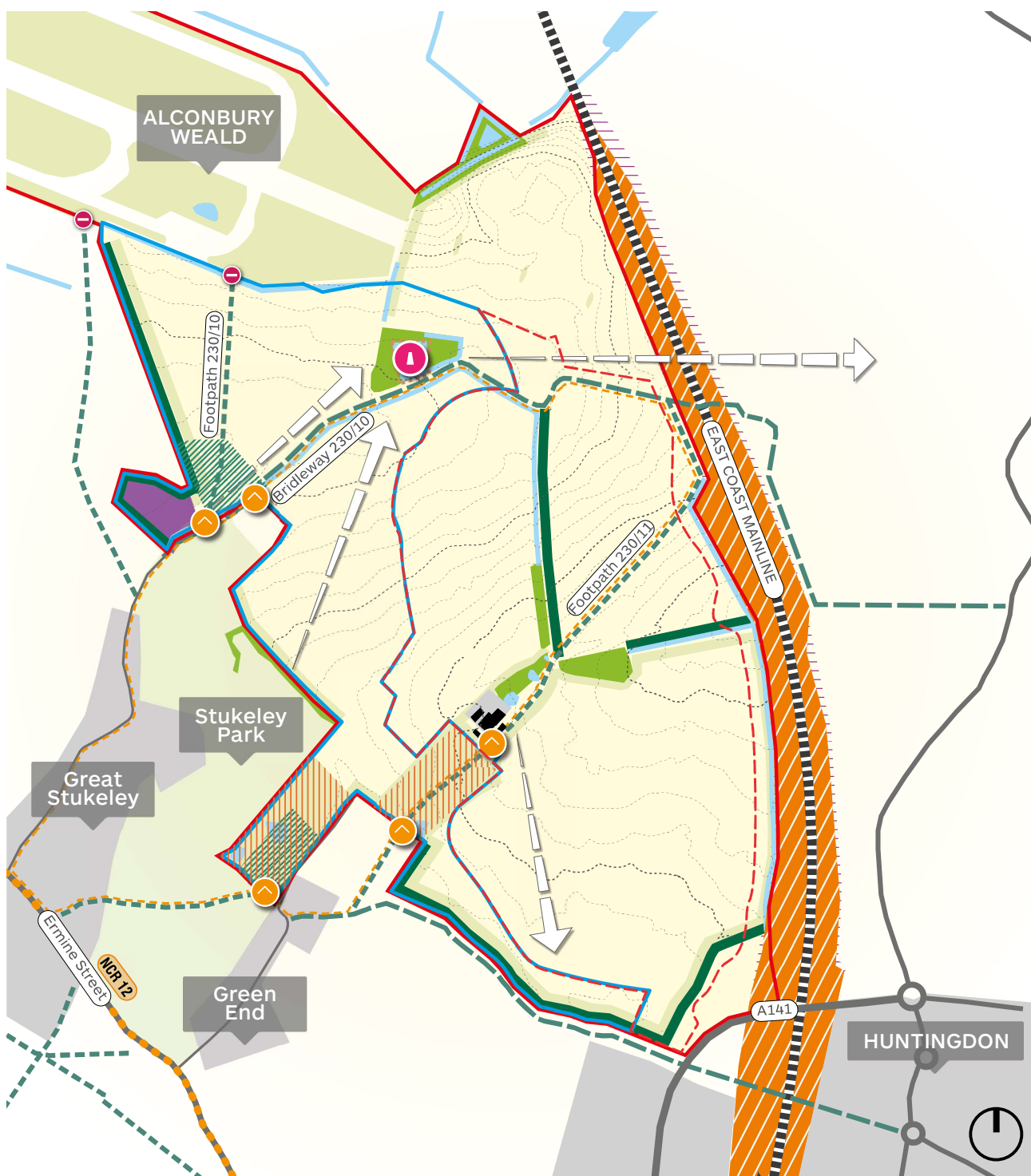


Figure 12: Country Park - Site Features



Four underlying design interventions which underpin the Country Park vision, which in combination, start to form the landscape framework to the Country Park and the wider Grange Farm OPA site include:-

- DIVERSE LANDSCAPES**

 ... healthy environments
- ACTIVE LANDSCAPES**

 ... healthy bodies & minds
- COMMUNITY LANDSCAPES**

 ... social & community hubs
- PRODUCTIVE LANDSCAPES**

 ... edible landscapes



Figure 15: The Green Infrastructure Vision applied to the Country Park and Grange Farm



Figure 24: Country Park - Movement & Access

- | | | | |
|--|--------------------------------------------------|--|---------------------------------------------|
| | Country Park Boundary | | Existing access points |
| | Existing Public Right of Way (PROW) | | Footpath currently stopped up |
| | Indicative new Public Bridleway | | Land safeguarded for future re-aligned A141 |
| | Indicative Multi-user Active Travel Routes | | Huntingdon Health Walks - Stukeley Stroll |
| | Indicative permissive foot & cycle leisure route | | |



Figure 27: Country Park - Key Destinations & Facilities













Figure 29: Country Park - Framework Plan





Figure 31: Country Park - Components Plan

- | | | | | | |
|-------------------------------------------------------------------------------------|--------------------------|-------------------------------------------------------------------------------------|------------------------------|---------------------------------------------------------------------------------------|--------------------------------------------------------|
|  | 3.5 Prestley Wood |  | 3.8 Permeable Woodlands |  | 3.11 Green End Common & Washingley Farm Field |
|  | 3.6 Prestley Wood Park |  | 3.9 Prestley Meadows |  | 3.12 The Fields |
|  | 3.7 Alkmonbury Woodlands |  | 3.10 Country Park Interfaces |  | Stukeley Community Allotments (refer to section 3.1.2) |

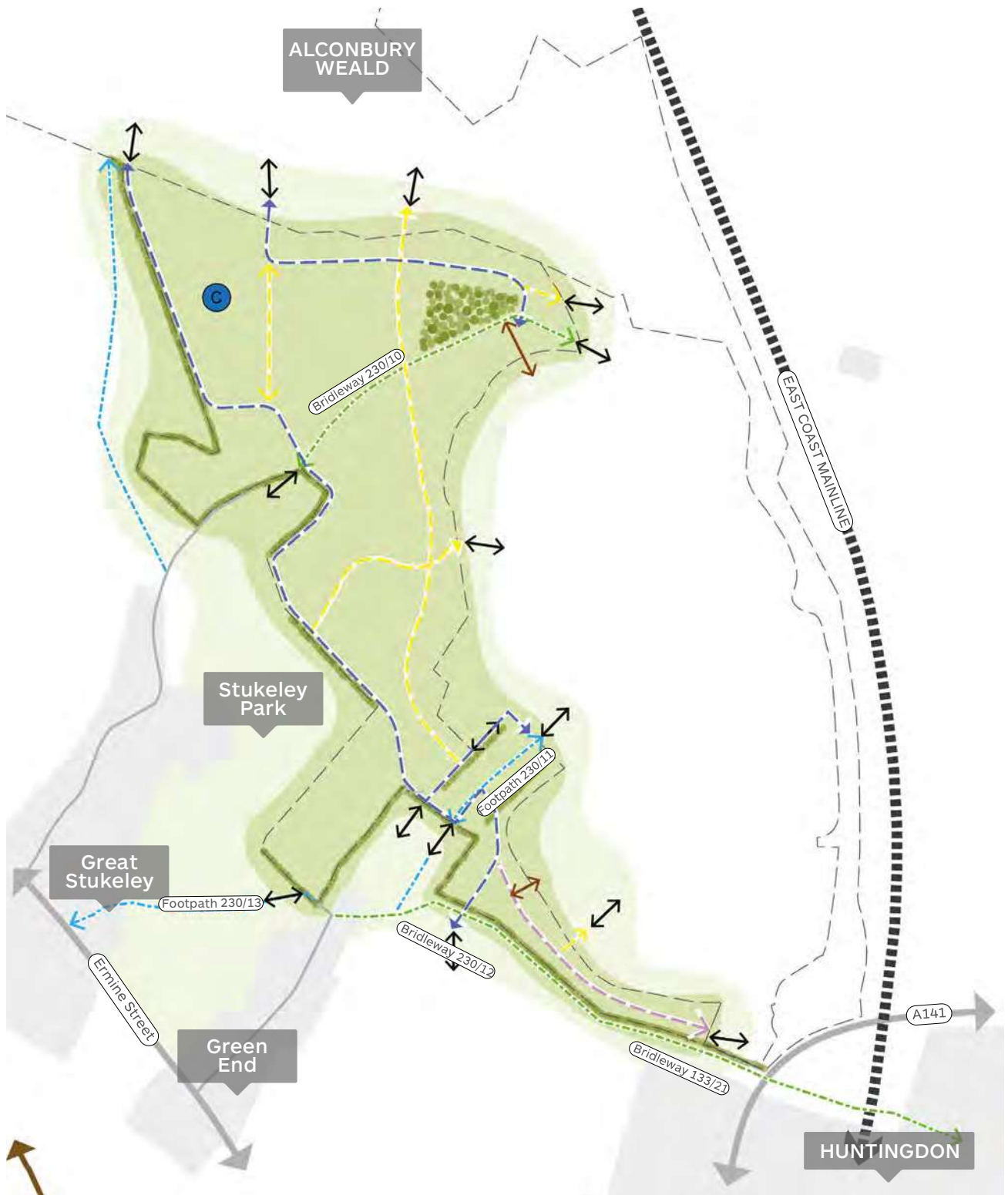


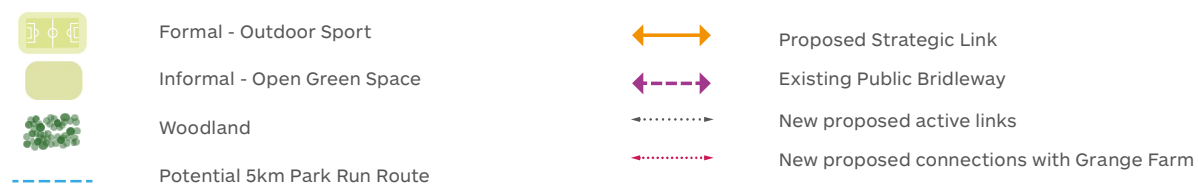
Figure 49: Country Park - Pedestrian Access & Movement Plan

- | | | | |
|--|------------------------------------------------------|--|-----------------------------------------------------------------------------|
| | Indicative cycle parking location | | Indicative permissive foot & cycle route |
| | Existing Public Footpath (alignment to be retained) | | Proposed connections to future development |
| | Existing Public Bridleway (alignment to be retained) | | Indicative multi-user active travel connections within Green Infrastructure |
| | Indicative Multi-User Active Travel Route | | |
| | Indicative new Public Bridleway | | |

The proposed Grange Farm residential development will also provide a series of informal connection points






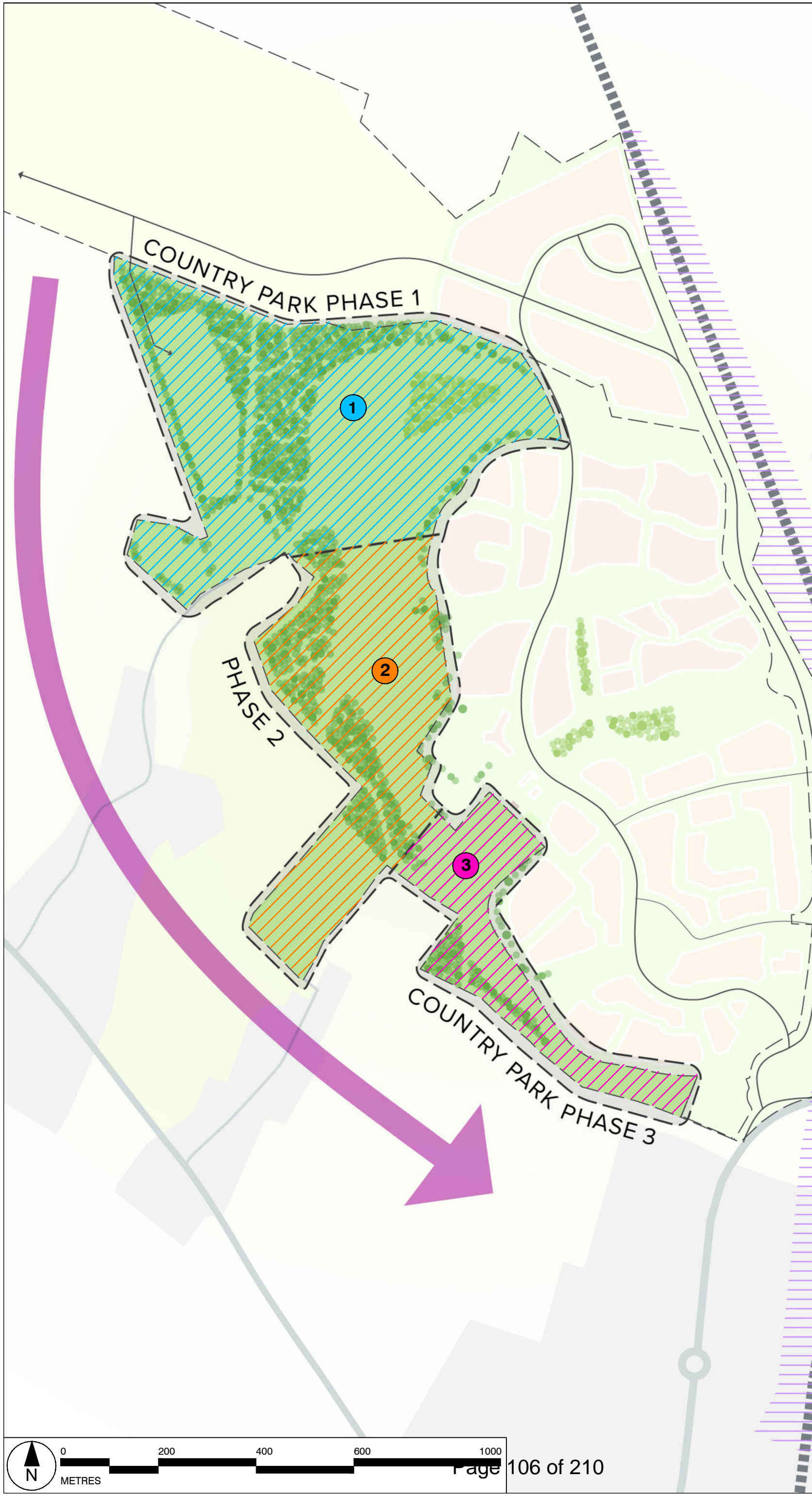
Figure 52: Country Park - Outdoor Sports & Recreation Provision



This drawing is the property of Bradley Murphy Design Ltd. Copyright is reserved by them and the drawing is issued on the condition that it is not copied, reproduced, retained nor disclosed to any unauthorised person either wholly or in part without the consent of Bradley Murphy Design Ltd.

- NOTES:
1. THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL OTHER LANDSCAPE DRAWINGS AND DOCUMENTS
 2. THIS DRAWING IS NOT INTENDED FOR CONSTRUCTION
 3. DO NOT SCALE FROM THIS DRAWING
 4. ANY DISCREPANCIES WITHIN THIS DRAWING OR BETWEEN THIS DRAWING AND ANY OTHER INFORMATION IS TO BE REPORTED TO BMD FOR CLARIFICATION

-  PHASE 1: 34ha
-  PHASE 2: 20ha
-  PHASE 3: 9ha



| Rev | Description | Date |
|-----|------------------|----------|
| A | MINOR AMENDMENTS | 04.03.21 |

Purpose of Issue
PLANNING

Bradley Murphy Design Ltd
6 The Courtyard
Hatton Technology Park
Dark Lane
Hatton
Warwickshire
CV35 8XB

t: 01926 676496
e: info@bradleymurphydesign.co.uk
www.bradleymurphydesign.co.uk

Client

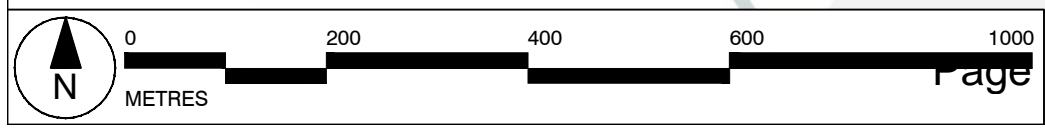


Urban & Civic

Project
Grange Farm Country Park, Alconbury

Drawing Title
Indicative Phasing Plan

| Drawn | Checked | Approved | Date |
|-------------------------------------|-----------------|------------------|----------------------|
| ED | JJ | DS | 31/05/2019 |
| Job No. BMD.18.027 | Scale 1:7500 | Sheet Size A3 | Revision A |
| Drawing Number BMD.18.027.DR.008 | | | |



**DEVELOPMENT MANAGEMENT
COMMITTEE 20th November 2023**

Case No: 21/02422/FUL

**Proposal: ERECTION OF FACTORY EXTENSION AND CREATION
OF ADDITIONAL PARKING AREAS AND ASSOCIATED
WORKS**

Location: 3 REDWONGS WAY, HUNTINGDON, PE29 7HF

Applicant: HOTEL CHOCOLAT

Grid Ref: 523904 273258

Date of Registration: 21 OCT 2021

Parish: HUNTINGDON

RECOMMENDATION - APPROVE

This application is referred to the Development Management Committee (DMC) because the local Councillor has called the application in for consideration by members.

1. DESCRIPTION OF SITE AND APPLICATION

Site and Surroundings

- 1.1 The application site is located at the existing Hotel Chocolat (HC) factory within the St Peters Road Industrial Estate in Huntingdon.
- 1.2 To the north of the site are existing industrial units (Currus Court), whilst to the east is an area of public open space (recreational ground).
- 1.3 Further to the east, beyond Sallowbush Road are residential properties. The hedgerow / tree belt is a former field boundary running N-S; this field boundary line effectively contains St Peters Road Industrial Estate to the west, with open space / allotments to its east forming a linear N-S green swathe. To the south and west are existing industrial units (including Kwik Fit).
- 1.4 The existing factory is served by two access points; the first off Redwongs Way provides access for delivery and distribution vehicles as well as staff and customers using the front car park access. The second access from Glebe Road (to the north) provides staff access to the rear parking area as well as servicing access to the rear part of the existing factory.

- 1.5 The site is within the Environment Agency's Flood Zone 1. There are no other site constraints.

Proposal

- 1.6 The application seeks planning permission for the erection of a factory extension and creation of additional parking areas and associated works.
- 1.7 The proposals would demolish the existing array of buildings to the east of the factory and erect a factory extension measuring 51.4m x 119.6mm with a 12.2m ridge and 11.1m eaves height. The extension forms a continuation of the existing building, and largely reflects the massing, form and materials of the existing. The front of the extension features a two-storey flat roof over the new main visitor entrance, staff canteen and first floor office space, this is approximately 2m higher than the two-storey flat roof element over the existing building frontage.
- 1.8 The proposal includes the change of use of open space (32m width by 193m length = 6176sqm) to car parking to the east of the proposed extension.

Background

- 1.9 Planning permission ref 18/02276/FUL was granted for a factory extension of a similar size, scale and siting alongside the east side of the site being utilised for additional parking. This application was not implemented.
- 1.10 Since the granting of 18/02276/FUL, Hotel Chocolate have purchased additional land (32m width by 193m length = 6176sqm) from Huntingdon Town Council. This land has historically been used as public open space, specifically as an enclosed dog walking/ exercise area.
- 1.11 A 10m strip of land adjacent to Sallowbush Road is retained in ownership by Huntingdon Town Council. This is included within the red line area of application.
- 1.12 The application has been in the system for a while. Officers have engaged with the applicant to ensure sufficient information has been submitted with the application and have sought amendments where necessary. Officers did a full consultation on the last set of additional information and revised plans on the 19th June 2023.
- 1.13 Officers have scrutinised the plans and have familiarised themselves with the site and surrounding area.

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (5 September 2023) (NPPF 2023) sets out the three objectives - economic, social and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2023 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).
- 2.2 The NPPF 2023 sets out the Government's planning policies for (amongst other things):
- delivering a sufficient supply of homes;
 - building a strong, competitive economy;
 - achieving well-designed, beautiful and safe places;
 - conserving and enhancing the natural, built and historic environment
- 2.3 Planning Practice Guidance and the National Design Guide 2021 are also relevant and material considerations.

For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)
- LP1: Amount of Development
 - LP2: Strategy for Development
 - LP4: Contributing to Infrastructure Delivery
 - LP5: Flood Risk
 - LP7: Spatial Planning Areas
 - LP11: Design Context
 - LP12: Design Implementation
 - LP14: Amenity
 - LP15: Surface Water
 - LP16: Sustainable Travel
 - LP17: Parking Provision and vehicle movement
 - LP18: Established Employment Areas
 - LP30: Biodiversity and Geodiversity
 - LP31: Trees, Woodland Hedges and Hedgerows
 - LP32: Protection of Open Space
- 3.2 Supplementary Planning Documents (SPD) and Guidance:
- Huntingdonshire Design Guide Supplementary Planning Document (2017):
 - Developer Contributions SPD (2011)
 - Huntingdonshire Landscape and Townscape Assessment (2007)
 - Cambridgeshire Flood and Water SPD 2017
 - Huntingdonshire Tree Guidance Note 3

- Annual Monitoring Report – Part 1 (Housing) 2019/2019 (October 2019)
- Annual Monitoring Report – Part 2 (Non- Housing) 2018/2019 (December 2019)
- RECAP CCC Waste Management Design Guide (CCC SPD) 2012
- Huntingdon Neighbourhood Plan 2018-2026 (adopted Sep 2019)

3.4 The National Design Guide (2021)

- * C1 - Understand and relate well to the site, its local and wider context
- * I1 - Respond to existing local character and identity
- * I2 - Well-designed, high quality and attractive
- * B2 - Appropriate building types and forms
- *M3 - Well-considered parking, servicing and utilities infrastructure for all users
- * H1 - Healthy, comfortable and safe internal and external environment

3.5 Huntingdon Neighbourhood Plan 2018-2026

- Policy E1 (Opportunities for Employment)
- Policy E2 (Business Investment)

For full details visit the government website [Local policies](#)

4. PLANNING HISTORY

- 4.1 1300962FUL- Change of use from warehouse facility to production area. PERMITTED
- 4.2 1306521PDE – Sprinkler water tank and pump house. PERMISSION NOT REQUIRED
- 4.3 17/02126/FUL – Portal framed building to cover bulk material silos together with pipework gantry. PERMITTED
- 4.4 18/02276/FUL - Erection of factory extension. PERMITTED
- 4.5 19/00245/FUL - Extension to single storey side warehouse building, two storey rear extension and elevation alterations. Insertion of 2no. mezzanines. PERMITTED
- 4.6 19/01149/FUL - Proposed demolition of existing building and erection of an additional warehouse for on-site raw material storage and new boundary treatments. PERMITTED
- 4.7 20/00838/FUL - Erection of extension to factory shop to provide additional storage capacity. PERMITTED
- 4.8 21/00110/FUL - Erection of a temporary warehouse building for a period of up to five years. PERMITTED

5. CONSULTATIONS

5.1 Huntingdon Town Council – Deemed Approve.

Members noted the need for compliance and enforcement of all planning conditions to minimise impact on nearby residents.

5.2 Environmental Health Team - No objection subject to conditions regarding noise.

5.3 Lead Local Flood Authority (CCC) – No objection subject to conditions regarding drainage.

5.4 Highway Authority (CCC) – No objection subject to conditions regarding highway safety.

5.5 Transport Assessment Team (CCC) – No objection subject to conditions regarding a travel plan and pedestrian improvement works along Redwongs Way.

5.6 Urban Design Team – Urban Design remain concerned the proposals extend the industrial area into the adjacent open space, closer to neighbouring dwellings in Sallowbush Road. The loss of open space would be significant and is considered contrary to Local Plan Policy LP32: Protection of Open Space given this space contributes to the larger continuous strategic green space that forms a buffer between the St Peters Road Industrial Estate and the Oxmoor residential area.

The loss of this open space would also be contrary to the 2022 Landscape and Townscape SPD Character Area 10: Oxmoor which requires development proposals to *‘Protect the green space along the western edge of the estate and promote its enhancement through new planting as a buffer and screen to the adjacent industrial estate’*.

Whilst comments on the treatment of the linear green space are deferred to landscape colleagues in the first instance, there is concern the lack of railings and gates enclosing the open space, together with the long grassland would mean this space would be unsuitable for continued use as a dog exercise area. A replacement facility is likely to be required in accordance with Local Plan Policy LP32: Protection of open space, alternatively amendments to the boundary treatments surrounding the linear green space would be required in order to maintain this facility.

The principle of the loss of this open space is deferred to the case officer.

5.7 Landscape Team – Agrees with the Urban Design comments.

- 5.8 Open Spaces Team – Agrees with Urban Design and Landscape Officer colleagues regarding the potentially greater encroachment of industry onto the residential part of Huntingdon with the current proposals for the development. (March 2022)

Off-site open space Contribution of £81,900.68 required. (August 2023)

The Open Space Team have identified a project to provide improvements to an area of public open space: Spring Common which is a County Wildlife Site (CWS) managed by Huntingdonshire District Council (HDC). It is located in central Huntingdon on Ambury Road, about 0.6 miles from the site, a 12-minute walk. (Nov 2023)

- 5.9 Tree Officer – No objection.

The site is an area of open space, to the East of the existing Hotel Chocolat factory and to the west of Sallowbush Road. The site is not in a Conservation Area. The proposal will require the felling of 21 trees. 5 trees are shown to be retained. The 21 trees shown to be removed have had their crowns removed, as such are now of low quality items with little visual amenity. The proposed car parking area along the western boundary sits in close proximity to two trees to be retained. The parking will transgress the RPA of the trees and lower branches will need to be removed to permit clearance for construction and car parking. There will also be the potential of future pressure to remove these trees because of leaf and fruit drop onto cars, low branches scratching cars and the possibility of bird droppings. In order to alleviate immediate damage to, and future pressure on, the trees to be retained, the parking bays along these two trees should be taken out and the ground left as soft landscaping. A detailed landscaping scheme has been provided which includes provisions for replacement trees to mitigate the felling of the 21 trees. The 5 trees to be retained are important in the immediate area, as such, to ensure their long-term retention, it is our intention to apply a Tree Preservation Order.

- 5.10 Historic Environment Team (CCC) – No objection.

- 5.11 Designing Out Crime Officer – No objection, recommends advice regarding parking, external lighting, boundary treatments and cycle parking for staff.

- 5.12 Anglian Water – No objection.

- 5.13 Wildlife Trust – No objection.

The application is accompanied by a Biodiversity Net Gain Assessment, although I have not seen the original copy of the Biodiversity Metric spreadsheet to corroborate the conclusions in

the report. The report does however appear to accurately categorise the baseline habitats and hedgerows and make reasonable predictions for the types and condition of post development habitats. The predicted net gain in biodiversity using the Defra Biodiversity Metric therefore appears to be acceptable. Hedgerow biodiversity units are provided on-site, but the assessment identifies the need for a biodiversity offsetting solution in order to demonstrate a net gain in biodiversity in line with adopted local and national planning policies. A minimum of 7 habitat BU are required, though I would recommend a minimum of 7.77 BU to provide for a 10% net gain in biodiversity and allow for the margins of error in the Defra Biodiversity Metric. The report also identifies the need for the offsetting site to provide both grassland and urban tree habitat units. The two are unlikely to be provided on the same offsetting site, therefore I suggest that the requirement for urban tree planting is met through the design of this development layout, with any residual grassland habitat biodiversity units required to deliver an overall net gain sought from a reputable Habitat Bank provider within Huntingdonshire.

The biodiversity assessment includes an explanation for how the off-site biodiversity units might be secured, but doesn't provide any details for potential off-setting sites. While the principle is acceptable, the development should not commence without an identified and legally secured offsetting solution. I also recommend that the Biodiversity Net Gain Assessment is updated once the scope for additional tree planting within the development site has been assessed, perhaps through the detailed landscape scheme that will no doubt be required as a separate planning condition.

- 5.14 Cadent Gas – No objection. Informative recommended regarding gas infrastructure.

6. REPRESENTATIONS

- 6.1 Cllr Patrick Kadewere called the application to DMC for the following reasons:
- Concern over the compliance of the proposal with regard especially to local/neighbourhood policy requirements around protecting greens spaces and the loss of amenity if this goes.
 - Concerns about disturbance including noise from use of the car park and its bright floodlights so much closer to residential properties (which could also be framed as overbearance, loss of privacy, poor design and visual appearance among other material factors).
- 6.2 Multiple representations have been received from 13 local residents objecting to the proposal. Their representations can be summarised as:

- The proposal through the change of use of the open space to industrial would result in the loss of public open amenity space and be harmful to the character and appearance. It will diminish the protective buffer along the Eastern side of the site and blur the distinct boundary between the industrial and residential areas.
- The development represents encroachment of built industrial development outside the established employment area. Will bring the factory closer to residents.
- Significant loss of biodiversity.
- Appropriate planting must be undertaken at this site. Mitigation in an alternative location is not an option, as this development will fragment the wildlife corridor and area of important green infrastructure, therefore affecting a much wider area than the development site.
- The proposed development by reason of its size, depth, width, height and massing would have an unacceptably adverse impact on the amenities of the properties immediately adjacent to the site and the surround area by reason of visually overbearing impact.
- Do not consider the economic and social benefit of the proposed factory extension would outweigh the harm identified.
- Land not allocated for development.
- Concerns the application is incomplete and documents are outdated.
- Light pollution from the factory.
- Noise pollution from the factory 24/7.
- Significant loss of trees.
- Increased traffic flow from HGVs.
- An FOI indicated HC had sought pre-application advice from HDC prior to the purchase of the land This should not influence the planning decision as stated on HDC website 'Requesting pre-application advice does not guarantee that planning permission will be granted'.
- The dog park is not disused because it is used every day.
- Social and local impacts of the loss of the public open space.
- For the wider community to accept the planning, there should be provisions for the community to have access to a suitable replacement of the facilities that are being taken away.
- Previous planning conditions have not been adhered to.
- There will unlikely be creation of new jobs. Hotel Chocolat speak of automated lines in the factory extension and are currently consulting on staff redundancies.
- The land they have/want to extend on was previously allotment land and public amenity land, although the Town Council failed to register it as such. They sold the land to Hotel Chocolat in private meetings with no prior notice or public consultation.

- Contrary to local plan policies, neighbourhood policies and relevant SPD's.

7. ASSESSMENT

- 7.1 When determining planning applications, it is necessary to establish what weight should be given to each plan's policies in order to come to a decision. The following legislation, government policy and guidance outline how this should be done.
- 7.2 As set out within the Planning and Compulsory Purchase Act 2004 (Section 38(6)) and the Town and Country Planning Act 1990 (Section 70(2)) in dealing with planning applications the Local Planning Authority shall have regard to have provisions of the development plan, so far as material to the application, and to any other material considerations. This is reiterated within paragraph 47 of the NPPF (2023). The development plan is defined in Section 38(3)(b) of the 2004 Act as "the development plan documents (taken as a whole) that have been adopted or approved in that area".
- 7.3 In Huntingdonshire the Development Plan consists of:
- Huntingdonshire's Local Plan to 2036 (2019)
 - Cambridgeshire & Peterborough Minerals and Waste Local Plan (2021)
- 7.4 The statutory term 'material considerations' has been broadly construed to include any consideration relevant in the circumstances which bears on the use or development of the land: *Cala Homes (South) Ltd v Secretary of State for Communities and Local Government & Anor* [2011] EWHC 97 (Admin); [2011] 1 P. & C.R. 22, per Lindblom J. Whilst accepting that the NPPF does not change the statutory status of the Development Plan, paragraph 2 confirms that it is a material consideration and significant weight is given to this in determining applications.
- 7.5 The main issues to consider as part of this application are:
- Principle of Development
 - Parking Provision, Highway Safety and Traffic Generation
 - Design, Visual Amenity and impact on the surrounding area
 - Residential Amenity
 - Biodiversity
 - Trees
 - Flood Risk and drainage
 - Other matters

Principle of Development

- 7.6 The submitted Planning Statement states: 'Hotel Chocolat is a successful business which, given its exponential growth over the past few years, has resulted in the projected need for a significant

expansion in production to enable continued growth going forward and in order to keep up with current production demands. Hotel Chocolat has bucked national trends and seen a significant rise in demand as a result of the Coronavirus Pandemic, and consequently needs provisions to increase chocolate production in line with heightened demand from the UK and overseas. The location and success of the Huntingdonshire site, set within an established industrial estate, lends itself to the expansion required to support the national and international growth and success of the company. It also ensures the security of opportunities for staff and local suppliers’.

7.7 The site is with Huntingdon and therefore falls within the Huntingdon Spatial Planning Area. The proposal is for the erection of a factory extension and the creation of additional parking areas and associated works.

7.8 Policy LP7 (Spatial Planning Areas) states:

Development Proposals on Unallocated Sites

A proposal for development on a site which is additional to those allocated in this plan will be supported where it fulfils the following requirements and is in accordance with other policies:

Business Development

A proposal for business development (class 'B') will be supported where it is appropriately located within a built-up area of an identified Spatial Planning Area settlement. An appropriate location will include an Established Employment Area defined in policy LP 18 'Established Employment Areas'; a town centre defined in policy LP 21 'Town Centre Vitality and Viability' or the Alconbury Enterprise Zone.

7.9 Part of the site (the existing operational site and the proposed factory extension) is located within St Peter's Road Industrial Area, which is defined as an 'Established Employment Area' under Policy LP18 (Established Employment Areas) of the Local Plan. The area previously used a public open space is not within the 'Established Employment Area'.

7.10 Policy LP18 states: *Areas of land and buildings that contribute to the local economy and provide on-going employment opportunities have been identified as Established Employment Areas. A proposal for business development (class 'B') will be supported on land within an Established Employment Area or on land immediately adjoining and capable of being integrated with an Established Employment Area.*

7.11 The site and the building have an existing B use. The proposed factory extension would safeguard an existing area of employment

use and is therefore in compliance with and supported by Local Plan Policy LP18.

- 7.12 Huntingdon Neighbourhood Plan Policy E1 (Opportunities for Employment) states:

Proposals for economic development throughout Huntingdon will be favourably considered subject to compliance with other relevant planning policies. The regeneration and intensification of previously developed land will be particularly supported.

- 7.13 Huntingdon Neighbourhood Plan Policy E2 (Business Investment) states:

Proposals for development schemes which involve business investment which will result in the provision or opportunity for high skilled employment will be strongly supported subject to compliance with other relevant planning policies.

- 7.14 The proposal is for an extension to the existing factory serving Hotel Chocolat and is intensification of previously developed land (noting the proposed additional car parking area is on greenfield land and land used as public open space, which is assessed below). The proposal will result in the creation of further jobs and therefore will contribute to overall economic development. The proposed development is therefore in compliance with and supported by Huntingdon Neighbourhood Plan Policies E1 and E2.

- 7.15 The proposal is in accordance with Local Plan Policies LP7, LP18 and Huntingdon Neighbourhood Plan Policies E1 and E2. The principle of development is therefore acceptable subject to the consideration of the below material considerations.

Parking Provision, Highway Safety and Traffic Generation

- 7.16 Officers feel it necessary to provide assessment of Parking Provision and Highway Safety early in the report. This is because the proposal includes the change of use of land previously used as open space (enclosed dog exercise/walking area not located within the Established Employment Area) to car parking. In order to assess the impact of this, Officers first need to consider the applicants case regarding car parking justification.

Parking

- 7.17 Policy LP17 (Parking Provision and Vehicle Movement) states that a proposal will be supported where it incorporates adequate parking for vehicles and cycles.
- 7.18 HDC has no car parking standards. Policy LP17 states:

A clear justification for the space for vehicle movements and level of vehicle and cycle parking proposed will need to be provided taking account of:

- a. highway safety and access to and from the site;*
- b. servicing requirements;*
- c. the accessibility of the development to a wide range of services and facilities by public transport, cycling and walking;*
- d. the needs of potential occupiers, users and visitors, now and in the future;*
- e. the amenity of existing and future occupiers and users of the development and nearby property; and*
- f. opportunities for shared provision, where locations and patterns of use allow this.*

7.19 Therefore Policy LP17 is clear on the fact that the car parking is assessed on a case-by-case basis and it falls to the applicant to justify the level of car parking provision whilst giving consideration to the criteria listed in Policy LP17.

7.20 The applicant has submitted a 'Parking Technical Note' which outlines the car parking justification. This should be read alongside Traffic Assessment (Dec 2021), Workplace Travel Plan (Dec 2021), the Transport Assessment Addendum (March 2022) and Proposed Site Plan (drawing ref. 21121-WA-004 Rev E). The submitted 'Parking Technical Note' makes the following case:

Existing parking situation

- 110 existing car parking spaces on site in 2 separate car parks (one to the north accessed via Glebe Way, and the other to the south accessed via Redwongs Way)
- The existing factory operates at capacity and employs a maximum of 215 people on site in the factory/warehouse and office. The factory operates over three shifts (0600-1400, 1400-2200, 2200-0600) whilst the office and small outlet retail unit operate standard weekday working hours.
- The peak demand for access and parking is during the 1400 factory shift change on a weekday afternoon. As Hotel Chocolat operate a continuous process, those 0600-1400 shift workers must be replaced at the workstation by the 1400-2200 cohort, meaning for a period of time, that double the workforce must be in place at the same time. During this time period, office workers, retail and visitors/contractors are also on site.

Proposed parking situation

- The proposed development will increase chocolate output 3-4-fold when full capacity is reached. In the calculation of future staff numbers and parking, rather than increase pro-rata, Hotel Chocolat have committed to an ambitious programme to reduce this in proportion to output. This will be achieved

through up-skilling their workforce and the automation of their processes. The result is a proportional reduction in parking versus output.

- Given the 24-hour shift patterns associated with the warehouse staff, travel via public transport or walking/cycling will not be an option for shift workers who form the largest proportion of staff members. Furthermore, travel to/from the site via non-car modes may not be a safe and attractive option for staff working outside of daylight hours.
- Proposed parking provision shown in the below table:

| Car Park | No. Car Parking Spaces |
|----------------------|----------------------------------------------------------------------------------|
| Factory Shop | 18 (including 1 x active EV space and 1 x passive EV space) |
| South Staff Car Park | 85 (including 8 x active EV space and 9 x passive EV space 5 x disabled space) |
| East Staff Car | 267 (including 10 x active EV space and 8 x passive EV space 5 x disabled space) |
| Total | 370 |

- Parking provision for the site has been designed as a strategy to accommodate different and overlapping demands on the site alongside a three-shift pattern in the factory. The following shift patterns are in place for the factory staff: 0600 – 1400; 1400 – 2200; and 2200 – 0600.
- The office staff work typical working hours of 0900 – 1700, as do the small number of staff associated with the retail facility. For this assessment, it is assumed that ‘other’/visitor trips also occur during these typical office hours. With a three-shift system, there is a need to build flexibility into the parking provision. In addition, there is a daily ‘unknown’ related to retail customers as well as visitors and contractors required to support the office and factory.
- Estimated maximum car park occupancy shown in the below table:

| | Ins | Outs | Parking Demand | % Occupancy (Total 370 spaces) |
|-----------------------------------------------------------------------------|------------|-------------|-----------------------|---------------------------------------|
| Parking at Start of period: (127 Factory, 52 Officer, 9 Retail/Other) | | | 188 | 51% |
| Weekday 12:00-13:00 | 9 | 9 | 188 | 51% |
| Weekday 13:00-14:00 | 136 | 9 | 314 | 85% |
| Weekday 14:00-15:00 | 9 | 136 | 188 | 51% |

- By applying the proportion of factory staff driving (50.6%) taken from the mode traffic survey or ‘usual’ method of travel to work (Table 11 in 2021 TA) to the total number of proposed factory staff per shift (250), this gives a total of 127 car or van drivers.

- The calculated occupancy level is 314 spaces, or 85% of the car parking spaces occupied at peak demand. The 15% spare car parking capacity is retained to account for longer stay (all day) contractor (visitor) parking, uneven retail demand at different times across the day, drop-offs possibly briefly using a parking space and potential seasonal variations in factory production. Furthermore, allowing for a slight surplus in parking will also prevent overspill parking onto the local highways.
- As shown in the Travel Plan; HC are committed to promoting and encouraging sustainable modes of travel where realistically possible. Measures include the following:
 - Cycle to Work scheme offered;
 - Car sharing promoted;
 - Provision of lockers and showering facilities;
 - Secure cycle storage;
 - New Electric Vehicle parking;
 - Public transport information displayed in social areas; and
 - EV charging infrastructure will be accommodated.
- HC will manage parking to ensure spaces closest to the factory and office will be used overnight and staff will be discouraged from parking in spaces closest to Sallowbush Road.

7.21 Members should note during the course of the application, the Council has served a Tree Protection Order on the 5 trees to be retained within or immediately adjacent to the remaining strip of public open space. 10 car parking spaces have been removed to ensure the trees don't come under pressure in the future. That brings the total amount of car parking down to 360 spaces.

7.22 Officers consider the applicant has put forward a sufficient argument for the level of car parking provision proposed which considers the criteria listed within Policy LP17. Officers therefore accept the applicant's car parking justification.

7.23 The proposal includes 52 cycle parking spaces. A condition is recommended to secure the details of the cycle parking. Officers conclude that the applicant has sufficiently justified the level of car parking proposed and proposes an appropriate amount of car parking and cycle parking. A travel plan condition is recommended. Subject to the above-mentioned conditions, the proposal would be in accordance with Policy LP17 of the Huntingdonshire Local Plan to 2036.

Highway Safety

7.24 Policy LP17 of the Local Plan seeks to ensure that new development incorporates appropriate space for vehicle movements, facilitates access for emergency vehicles and service vehicles and incorporates adequate parking for vehicles and cycles.

- 7.25 The proposal would use the existing access arrangements for the site and would also include the creation of a new 'exit only' access proposed from Redwongs Way. The Local Highway Authority have been consulted as part of the application and have advised the development is acceptable in highway safety terms subject to conditions regarding highway safety. Therefore, the proposal is unlikely to have any adverse effect on the public highway in accordance with policies LP16 and LP17 of the Huntingdonshire's Local Plan to 2036.

Traffic Generation

- 7.26 Policy LP16 (Sustainable Travel) states a proposal must assess a proposal's traffic impact upon strategic road networks.
- 7.27 A Transport Assessment Addendum dated March 2022 and Parking Technical Note dated August 2023 both prepared by Stomor Ltd have been submitted. This includes junction capacity assessments.
- 7.28 Officers note the concerns raised by local residents regarding the potential increase in traffic from the development. The Transport Assessment Team have been consulted as part of the application and have reviewed the submitted information in terms of traffic generation. It is anticipated that the Redwongs Way Site Access will operate within capacity under all future year assessment scenarios. Whilst the St Peter's Road/Redwongs Way signal junction is anticipated to operate above capacity in the 2030 future year scenarios in the PM peak, this is predominantly due to background traffic growth. The proposed development is not anticipated to have a severe impact on the operation of the junction. The requested pedestrian improvement works along Redwongs Way will help mitigate the development impact by enhancing the pedestrian access provision to the site and encourage travel to the site by sustainable modes as an alternative to the car.
- 7.29 The Transport Assessment Team has advised the proposal is acceptable in terms of traffic generation subject to the inclusion of conditions regarding a travel plan and pedestrian improvement works along Redwongs Way.
- 7.30 Therefore, subject to the inclusion of the above recommended conditions, the proposal is unlikely to have any adverse effect on the public highway in accordance with policies LP16 and LP17 of the Huntingdonshire's Local Plan to 2036.

Design, Visual Amenity and impact on the surrounding area

The proposed factory extension building

- 7.31 Policy LP11 of the Local Plan states that proposals will be supported where it is demonstrated that they positively respond to their context and draw inspiration from the key characteristics of their surroundings, including the natural, historic and built environment. Policy LP12 of the Local Plan states that proposals will be supported where they contribute positively to the area's character and identity and where they successfully integrate with adjoining buildings, topography and landscape.
- 7.32 The 18/02276/FUL application proposed a similar size and scale of extension along the east side of the site as set out in section 1.6 above. The extension forms a continuation of the existing building, and largely reflects the massing, form and materials of the existing. The front of the extension features a two-storey flat roof over the new main visitor entrance, staff canteen and first floor office space, this is approximately 2m higher than the two-storey flat roof element over the existing building frontage but closely reflects the proportions and form of the existing. Behind the two-storey frontage sits a steel frame double bay portal frame building with shallow pitched roofs and insulated panels to match the existing.
- 7.33 In comparison to 18/02276/FUL, the proposal has increased from 7.75m eaves height and 9.1m ridge height to approximately 10.5 eaves height and 11.6m ridge height.
- 7.34 The introduction of proposed black vertical banding on the east elevation is supported and helps break up the length of the extension especially when viewed from Sallowbush Road. The landscaping proposals for the car park and linear open space will go some way to soften the eastern elevation of the extension and further tree planting/landscaping can be secured via a condition.
- 7.35 Officers note the concerns raised by Urban Design but consider the final detailed design can be controlled through the inclusion of conditions regarding boundary treatments, appearance of the acoustic fence, safe routes for pedestrians, proposed lighting, landscaping to the HGV access road to soften the SE corner, cycle parking stores, proposed materials, proposed signage and proposed roof mounted railings.
- 7.36 It is the view of Officers, that as the proposed footprint and massing of the extension is similar to the previously approved

extension under 18/02276/FUL, and subject to the inclusion of the above mentioned conditions, the proposed extension would be acceptable in design terms in accordance with Policies LP11 and LP12 of Huntingdonshire's Local Plan to 2036 and is consistent with the design principles as set out in the Huntingdonshire Design Guide SPD (2017).

Partial loss of Open Space

- 7.37 As outlined above, Hotel Chocolate have purchased additional land (32m width by 193m length = 6176sqm) from Huntingdon Town Council. This land has historically been used as public open space, specifically as an enclosed dog walking/exercise area.
- 7.38 The proposal seeks to change this area of land to car parking. Notwithstanding that the ownership of the land has changed from 'public' to 'private', the loss of the open space needs to be addressed. A 10m strip of land adjacent to Sallowbush Road is retained in ownership by Huntingdon Town Council. This is included within the red line area of application.
- 7.39 Members should note Huntingdon Town Council are seeking to lease an area of open space from HDC to provide a new dog walking area. However, to be clear these are entirely separate issues and does not form part of the consideration of this application.
- 7.40 As outlined in the above parking section, Officers consider the applicant has put forward a sufficient argument for the level of car parking provision proposed in accordance with Policy LP17. Therefore, the reasoning behind the proposed change of use has been accepted. Notwithstanding that, officers still need to assess the impact of the proposed change of use of the open space against relevant policies.
- 7.41 Officers note the comments received by Urban Design, Landscape Team, Open Space Team and residents about how the partial loss of this area of open space of public value will have a significant adverse impact on the character of the surrounding area. Officers also note the comments received by residents about how the space is enjoyed daily by the local community for dog walking and general amenity space.
- 7.42 Policy LP32 (Protection of Open Space) states:

A proposal that would lead to the whole or partial loss of an area of open space of public value will only be supported where there would be no significant adverse impact on the character of the surrounding area and:

a. the loss is minimised where possible and compensatory measures are put in place that provide a net benefit to the

community that is served by the space, which will be judged in terms of availability, accessibility, quality and quantity;

In order to ensure that compensatory measures provide net benefits to the community the proposal will be expected to include enhancement of any remaining open space in cases of partial loss, the enhancement of other existing spaces or new provision that would serve the same community as that being lost. New provision for the loss of sports or recreational open space should be in a form that best meets an identified existing need, as agreed with the Council.

7.43 The NPPF paragraphs 101 – 103 allows local plans and neighbourhood plans to identify and protect green areas (Local Green Spaces) of particular importance to them. Once designated, planning permission will only be granted for the development of the sites in very special circumstances.

7.44 Local Plan Policy LP32 supporting text paragraph 8.30 states: In addition to the protection offered to open space the policy also identifies the national provisions for Local Green Spaces that can be designated in neighbourhood plans.

7.45 Officers note that the Huntingdon Neighbourhood Plan Policy NE1 (Local Green Space) does not designate this open space as 'Local Green Space'. Huntingdon Neighbourhood Plan was adopted after Huntingdonshire Local Plan, and therefore consider the most up to date plan and policy.

7.46 Huntingdon Neighbourhood Plan Policy NE2 (Open Space and Green Infrastructure) states:

Open spaces within Huntingdon that provide an amenity area or make a positive contribution to the streetscene or form part of the overall form and character of the settlement will be protected from encroachment.

A proposal involving the loss of open space that provides an amenity or recreation function will only be supported where:

- Alternative open space of equal or higher quality is provided in close proximity; or*
- The alternative use would address locally identified issues and the loss of open space would be compensated for by qualitative improvements to open space in close proximity.*

7.47 The open space forms a significant green buffer between the St Peters Industrial Estate to the west and the Oxmoor residential estate to the east and contributes to the near continuous swath of vegetation and open space that runs north from Spring Common (as noted in the Landscape and Townscape SPD 2021 Consultation Draft page 134) and sits immediately adjacent to the Sallowbush Road allotments to the south and the easternmost

Oxmoor Green Lane to the north (containing the Sallowbush Road toddler playground, a multi-use games area and ped/cycle path connection to Tower fields).

- 7.48 The 2007 Landscape and Townscape SPD requires planning and regeneration strategies for the Oxmoor estate (page 78) to: *'Consider the long term use of the existing areas of green space and promote improvements to key areas for public access, recreation and nature conservation purposes;...protect the green spaces along the western edge of the estate and promote its enhancement through new planting as a buffer and screen to the adjacent industrial estate;...Retain key views to the surrounding landscape from the Oxmoor estate'...and;... Enhance the visual qualities of the estate by planting large trees to reduce the sense of exposure'.*
- 7.49 Planning and regeneration strategies for the St Peters Road Industrial Estate (page 81) require development proposals to *'Improve the screening of the eastern estate where this abuts the Oxmoor residential areas*'. These development requirements are also set out in the 2021 Consultation Draft of the L&T SPD within Huntingdon Character Area 10: Oxmoor (page 134) and Huntingdon Character Area 12: St Peters Road Industrial and Retail Estate (page 138).
- 7.50 In line with the requirement of Policy LP32 that a proposal will be expected to include enhancement of any remaining open space in cases of partial loss, the proposal includes enhancements from the remaining strip of land (within Huntingdon Town Council ownership and within the red line of the application).
- 7.51 The space would remain enclosed by low railings together with gates which is recommended to be secured by condition. The proposal would also include hedge planting along to Sallowbush Road and Redwongs Way street frontages and in front of the 2m acoustic screen with the Hotel Chocolate Site. Tree and shrub planting together with long grassland areas, mown footpaths and timber benches are proposed within the linear green space. Temporary chestnut fencing is proposed along the Sallowbush Road and Redwongs Way frontages and the frontage to the adjacent open space to the north until the hedge/planting becomes established. Breaks are proposed within the sections of hedgerow and chestnut fencing allowing connections from Redwongs Way, Sallowbush Road and the adjacent open space.
- 7.52 As outlined above, the open space acts as a buffer between the St Peters Road Industrial Estate and the Oxmoor residential area. Whilst the proposed landscaping/planting will go some way to addressing the loss and will provide enhancements to the remaining strip of open space, the proposal by virtue of the reduction in size of the open space would result in a degree of harm upon the character of the surrounding area which would

partially conflict with the aims of Local Plan Policies LP11, LP12 & LP32 and Huntingdon Neighbourhood Plan Policy NE2.

- 7.53 In regard to the quantity of open space being lost, the Open Spaces Team has advised that an Off-site open space Contribution of £81,900.68 is required to offset the partial loss of the open space. The Open Space Team have identified a project to provide improvements to an area of public open space: Spring Common which is a County Wildlife Site (CWS) managed by Huntingdonshire District Council (HDC). It is located in central Huntingdon on Ambury Road, about 0.6 miles from the site, a 12-minute walk. Officers consider the S106 contribution would address the requirements of Local Plan Policy LP32 and Huntingdon Neighbourhood Plan Policy NE2 regarding compensation for the loss of open space.

Residential Amenity

- 7.54 Policy LP14 states that a proposal will be supported where a high standard of amenity is maintained for all occupiers of neighbouring land and buildings.

Consideration of Overbearing, Loss of light or Loss of privacy

- 7.55 The nearest resident properties are on Sallowbush Road to the east. The other buildings in the local vicinity provide a mix of employment uses. Officers note the concerns raised by local residents about the impact of the proposed factory extension in terms of how the proposed size, depth, width, height and massing would have an unacceptably adverse impact on the amenities of the properties immediately adjacent to the site and the surrounding area by reason of the proposal being visually overbearing.
- 7.56 The distance between the proposed factory extension building and the nearest residential properties is circa 110m. The proposed factory extension will be visible but is considered to be an acceptable distance away to minimise visual impact. Loss of view is not considered to be a material consideration. Weight must be also given to the fact that planning permission has previously been granted for an extension in a similar position of a similar scale. Local residents will also see the factory extension against a backdrop of the existing buildings on the site and adjacent commercial/industrial buildings. Officers therefore consider the proposal would not result in an adverse impact in terms of overbearing, loss of light or loss of privacy in accordance with Policy LP14 of the Local Plan.

Consideration of Noise and light

- 7.57 The application is supported by a Planning Noise Impact Assessment. The Environmental Health Team have been consulted as part of the application and are the technical experts regarding noise.
- 7.58 The Environmental Health Team have engaged in lengthy discussions with the applicant. Officers note the concerns raised by residents in regard to previous noise complaints and the impact of the lighting. Officers also note the concern about compliance with conditions that seek to control noise and other issues from the site. If conditions are not complied with, that is a matter for the Planning Enforcement Team to investigate. Paragraph 55 of the NPPF states: *Local planning authorities should consider whether otherwise unacceptable development could be made acceptable through the use of conditions or planning obligations. Planning obligations should only be used where it is not possible to address unacceptable impacts through a planning condition.* Therefore, Officers must consider whether a proposal can be made acceptable through the imposition of appropriately worded planning conditions.
- 7.59 Although the eastern boundary of the car park would be located approximately 30m from the nearest houses on Sallowbush Road, the proposal would bring the car parking closer to residential properties on Sallowbush Road and reduce the buffer. The proposal therefore includes a 2m high close boarded timber fence barrier to be constructed along the eastern boundary (adjacent to Sallowbush Road) of the car park in order to reduce the noise impact during the sensitive shift changeover periods.
- 7.60 The Environmental Health Team have reviewed the submitted information and consider the predicted noise impact from the proposed development will not lead to a significant adverse impact subject to the inclusion of conditions regarding deliveries, plant noise, site noise, lighting and construction.
- 7.61 Subject to the inclusion of the above recommended conditions, on balance Officers consider the proposal therefore accords with Policy LP14 of the Local Plan and the guidance in the NPPF in terms of potential noise impact.

Biodiversity

- 7.62 Paragraph 174 of the NPPF (2023) states Planning policies and decisions should contribute to and enhance the natural and local environment. Policy LP30 of Huntingdonshire's Local Plan to 2036 requires proposals to demonstrate that all potential adverse impacts on biodiversity and geodiversity have been investigated. Policy LP30 also requires development proposals to ensure no net

loss in biodiversity and provide a net gain in biodiversity where possible.

- 7.63 A Preliminary Ecological Appraisal has been submitted with the application, which concludes that the site is generally low to negligible ecological value. Officers agree with this assessment given that it is mown grass. That being said, the proposal would result in the reduction of the green buffer which will have an impact on biodiversity locally. Officers note the concerns raised by local residents about the impact upon biodiversity. The applicant has also submitted a Biodiversity Net Gain Report.
- 7.64 The Biodiversity Net Gain Report outlines that 0.36 units (3.51%) is required off site. Any offsetting that is required will be secured through appropriately worded conditions and a S106 contribution for the monitoring of the scheme.
- 7.65 Subject to the inclusion of the above conditions, it is considered the development would not have an adverse impact on biodiversity in accordance with Policy LP30 of the Local Plan, paragraph 174 d) of the NPPF (2023), The Wildlife and Countryside Act (1981) and the Habitats and Protected Species Regulations (2017).

Trees

- 7.66 Policy LP31 of the Local Plan states a proposal will be required to demonstrate that the potential for adverse impacts on trees, woodland, hedges and hedgerows has been investigated. A proposal will only be supported where it seeks to conserve and enhance any existing tree, woodland, hedge or hedgerow of value that would be affected by the proposed development. Where loss, threat or damage cannot be fully addressed through minimisation and/ or mitigation measures the proposal may be supported if alternative measures such as reinstatement of features, additional landscaping, habitat creation or tree planting will compensate for the harm and can be implemented and established before development starts.
- 7.67 Officers note the concerns raised by local residents about the loss of trees. A large number of trees have been removed during the course of the application. These trees were not afforded any protection as the site is not located within a Conservation Area and no Tree Preservation Orders were present on the site. However, during the course of the application, the Council has served a Tree Protection Order on the 5 trees to be retained within or immediately adjacent to the remaining strip of public open space. As outlined above, under advice from the Tree Officer, 10 car parking spaces have been removed to ensure the trees don't come under pressure in the future.

- 7.68 The application includes proposed landscaping/ planting which will go some way to addressing the loss and will provide enhancements to the remaining strip of public open space. Notwithstanding that, as outlined in the above section, by virtue of the reduction in size of the open space which acts as a buffer between the St Peters Road Industrial Estate and the Oxmoor residential area, there would be harm to the character of the local area.
- 7.69 Given that the proposal provides mitigation through the replacement planting of trees and through the provision of the Tree Protection Order, Officers consider on balance the proposal complies with Policy LP31 of the Local Plan.

Flood Risk and Drainage

- 7.70 National guidance and Policy LP5 of the Local Plan to 2036 seek to steer new developments to areas at lowest risk of flooding and advises this should be done through application of the Sequential Test, and if appropriate the Exceptions Test (as set out in paragraphs 159-169 of the NPPF (2023)).
- 7.71 The application site is situated in Flood Zone 1 based on the Environment Agency Floods Maps and the Strategic Flood Risk Assessment (2017) and is therefore at low risk of flooding. Given the existing surrounding buildings and uses, officers consider adequate servicing can be provided. The Lead Local Flood Authority (LLFA) has been consulted as part of the application. The LLFA has reviewed the additional information and has advised the proposal is acceptable in flood risk and drainage terms subject to appropriately worded conditions regarding drainage.
- 7.72 Subject to the inclusion of the above-mentioned conditions, the proposed development is therefore considered to accord with Policies LP5, LP6 and LP23 part d) of the Local Plan to 2036 and the NPPF (2023) in this regard.

Other Matters

Community Infrastructure Levy (CIL)

- 7.73 The development would be CIL liable in accordance with the Council's adopted charging schedule; CIL payments would cover footpaths and access, health, community facilities, libraries and lifelong learning and education.

S106 Contributions

- 7.74 The CIL regs for S106 contributions sets out 3 statutory tests a planning obligation may only constitute a reason for granting planning permission for the development if the obligation is –
- (a) necessary to make the development acceptable in planning terms;
 - (b) directly related to the development; and
 - (c) fairly and reasonably related in scale and kind to the development.
- 7.75 In regard to the quantity of open space being lost, the Open Spaces Team has advised that an Off-site open space Contribution of £81,900.68 is required to offset the partial loss of the open space. The Open Space Team have identified a project to provide improvements to an area of public open space: Spring Common which is a County Wildlife Site (CWS) managed by Huntingdonshire District Council (HDC). It is located in central Huntingdon on Ambury Road, about 0.6 miles from the site, a 12-minute walk. Officers consider the S106 contribution would address the requirements of Local Plan Policy LP32 and Huntingdon Neighbourhood Plan Policy NE2 regarding compensation for the loss of open space.
- 7.76 In regard to Biodiversity Net Gain, a potential scheme for the off setting including a monitoring fee potentially needs to be secured.
- 7.77 Officer's consider the required S106 contribution for open space and the off-site Biodiversity Net Gain to be justified and CIL compliant.

Outstanding neighbour representations

- 7.78 Local residents have objected to the development due to the potential impact on the value of nearby residential properties. This is not a material planning consideration.
- 7.79 Local residents have commented that an FOI indicated HC had sought pre-application advice from HDC prior to the purchase of the land and that this should not influence the planning decision as stated on HDC website 'Requesting pre-application advice does not guarantee that planning permission will be granted'. This is correct. The pre-application process is therefore to provide advice to an applicant prior to the submission of an application.
- 7.80 Officers note the concerns raised by local residents about the application being incomplete or documents are outdated. The application has been in the system for a while. Further technical details have been submitted on request, where necessary. Following site visits, consultee comments and a detailed review of the application, Officers consider they have enough information in this instance to assess the proposal.

- 7.81 Local residents have raised concern that there will be unlikely be the creation of new jobs. Hotel Chocolat speak of automated lines in the factory extension. Officers note this but the proposed factory extension will result in the creation of jobs. All companies seek to automate processes to create efficient ways of working.
- 7.82 Local residents have raised concern about how Huntingdon Town Council sold the land to Hotel Chocolat in private meetings with no prior notice or public consultation. This is a separate issue from the planning application and the proposed change of use of the open space.

Conclusion and Planning Balance

- 7.83 As outlined above, all planning applications should be determined in accordance with the development plan unless material considerations indicate otherwise.
- 7.84 Planning permission ref 18/02276/FUL was granted for a factory extension of a similar size, scale and siting.
- 7.85 The proposed factory extension building is located within the St Peter's Road Industrial Area, which is defined as an 'Established Employment Area'. The principle of development of the proposed factory extension is therefore supported by Local Plan Policies LP7, LP18 and Huntingdon Neighbourhood Plan Policies E1 and E2.
- 7.86 The proposal includes the change of use of open space (that falls outside the Established Employment Area) to car parking.
- 7.87 Officers consider the applicant has put forward a sufficient argument for the level of car parking provision and has justified the need for the change of use in accordance with policy LP17. The provision of an appropriate amount of on-site car parking is crucial to the operation and success of a commercial site.
- 7.88 The open space acts as a buffer between the St Peters Road Industrial Estate and the Oxmoor residential area. Whilst the proposed landscaping/planting will go some way to addressing the loss and will provide enhancements to the remaining strip of open space, the proposal by virtue of the reduction in size of the open space would result in a degree of harm upon the character of the surrounding area which would partially conflict with the aims of Local Plan Policies LP11, LP12 & LP32 and Huntingdon Neighbourhood Plan Policy NE2.
- 7.89 Subsequently, Officers also acknowledge the proposal by virtue of the reduction in size of the public open space, will also have a degree of impact upon biodiversity, will also result in the reduction

in the amount of tree coverage and will also have an impact upon the enjoyment of the space by local residents.

- 7.90 These considerations form the potential environmental and social harm of the proposal.
- 7.91 However, weight should be given to the proposed landscaping, planting and biodiversity enhancements/net gain, which can be secured through conditions and a S106, will go some way to addressing and mitigating the loss and will provide enhancements to the remaining strip of public open space in accordance with Policies LP11, LP12 and LP32.
- 7.92 In regard to the quantity of open space being lost, the Open Spaces Team has advised that an Off-site open space Contribution of £81,900.68 is required to offset the partial loss of the open space. This would be in accordance with Local Plan LP32 and Huntingdon Neighbourhood Plan Policy NE2 which require compensation for the loss of open space.
- 7.93 It is noted that the proposal is considered to be acceptable in terms of parking, highway safety, traffic, residential amenity impacts, flood risk and drainage in accordance with Local Plan Policies LP5, LP14, LP16 and LP17.
- 7.94 The application is for an intensification of an employment use on an existing established site accommodated by Hotel Chocolat. The proposed development is required due to Hotel Chocolat's significant expansion in production to enable continued growth going forward and to keep up with current production demands. A significant benefit of the development is the creation of further jobs and the contribution to overall economic development locally and nationally. Officers give this significant weight in the planning balance.
- 7.95 It should be noted that not all proposed developments are entirely without harm or entirely without benefit. Therefore, in reaching a recommendation on the application, Officers have considered the potential harm of the development against the potential benefits of the development. Officers have considered what weight should be given to each material consideration. This forms the overall planning balance.
- 7.96 Whilst the proposal would result in a degree of environmental and social harm, there are benefits of the development which are given greater weight in this instance. It is therefore the view of Officers that the proposal has significant economic and social benefits that outweigh the potential environmental and social harm.
- 7.97 Having regard to all relevant material considerations, it is recommended that planning permission be granted in this instance.

8. RECOMMENDATION – APPROVAL, to delegate the authority to officers to complete the signing of a S106 agreement and subject to conditions including the following:

1. Time
2. Drawings
3. Boundary treatments
4. Acoustic fence appearance
5. safe routes for pedestrians
6. lighting
7. landscaping scheme to include landscaping HGV access road to soften the SE corner and enhancements to the remaining strip of public open space.
8. cycle parking stores
9. materials
10. signage
11. roof mounted railings
12. biodiversity enhancements & BNG
13. SUDs
14. Drainage during construction
15. Deliveries
16. plant noise
17. site noise
18. lighting
19. construction
20. travel plan
21. pedestrian improvement works along Redwongs Way
22. staff car park exit minimum width
23. staff car park exit radius kerbs
24. joint car park access minimum width
25. joint car park access exit radius kerbs
26. access specification
27. On-site parking, servicing, loading, unloading, turning and waiting area
28. Visibility splays
29. Access drainage
30. Access road metalled surface 20m

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388424 and we will try to accommodate your needs.

CONTACT OFFICER:

Enquiries about this report to **Lewis Tomlinson Senior Development Management Officer** – lewis.tomlinson@huntingdonshire.gov.uk

HUNTINGDON TOWN COUNCIL**PLANNING COMMENTS : 3 February 2022**

21/02293/FUL

Mr Mark Craft Wickes 19 Colonial Way Watford WD24 4JL

1. Proposed New Manual glazed door to front elevation (front elevation). 2. New Pedestrian Crossing. 3. Car Park Alterations. 4. Trolley Park Relocation. 5. Proposed new perimeter fence to Service Yard 6. Proposed new first floor showroom window (front elevation) 38 St Peters Road Huntingdon PE29 7DA

Recommend APPROVE members had no objections

21/02422/FUL

Miss Frost Walsingham Planning Bourne House Cores End Road Bourne End SL8 5AR

Erection of factory extension and creation of additional parking areas and associated works

Factory Shop 3 Redwongs Way Huntingdon PE29 7HF

Deemed APPROVE

21/02812/FUL

Mr Moore 24 and 25 High Street Huntingdon PE29 3TD

Repairs to storm damaged boundary wall.
24 High Street Huntingdon PE29 3TA

Recommend APPROVE material to match existing

21/02813/LBC

Mr Moore 24 and 25 High Street Huntingdon PE29 3TD

Repairs to storm damaged boundary wall.
24 High Street Huntingdon PE29 3TA

Recommend APPROVE material to match existing

21/02676/LBC

Mr Robin Boyes Graham Handley Architects The Mill, Free Church Passage St Ives PE27 5AY

Development Management Committee



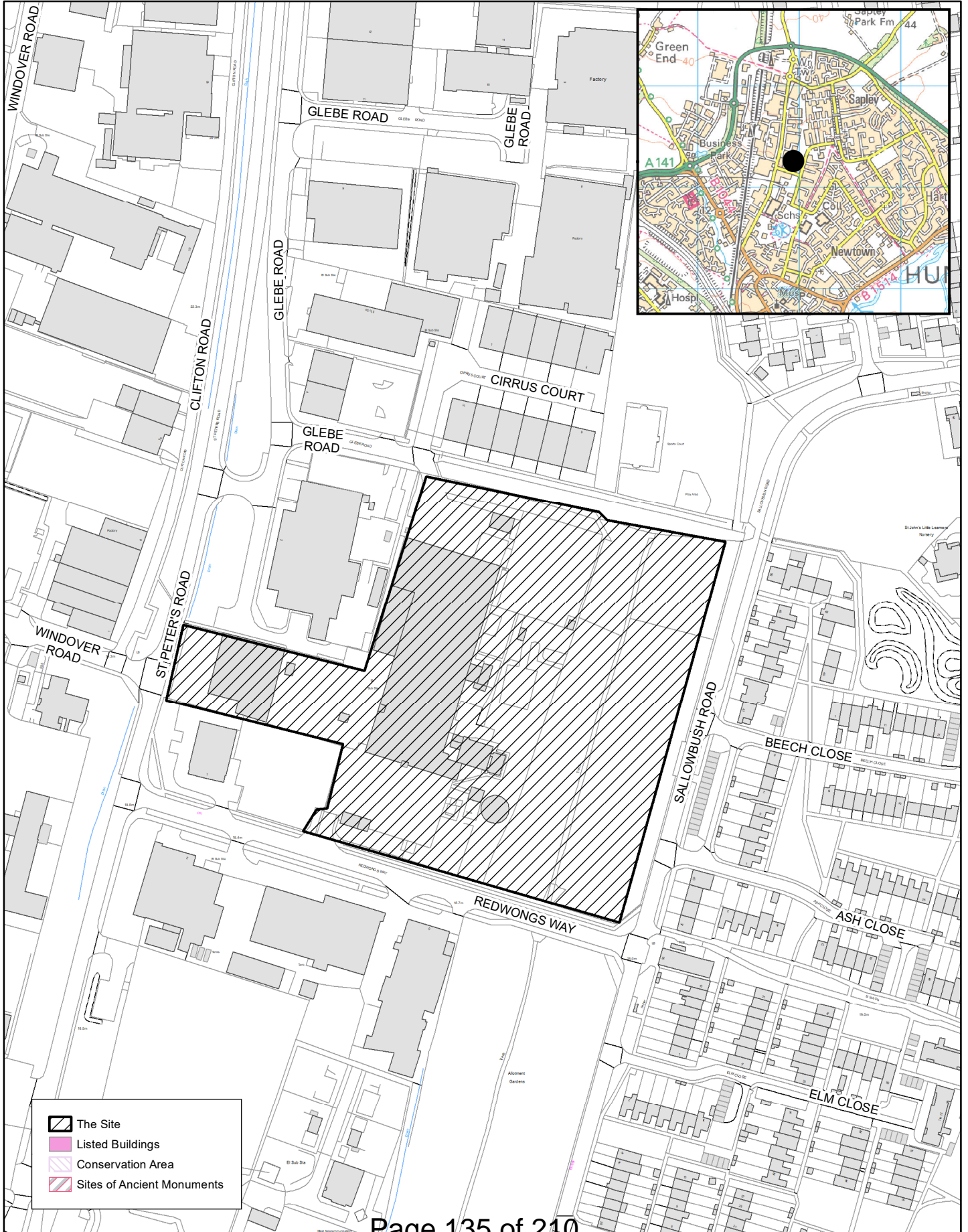
Scale = 1:2,500

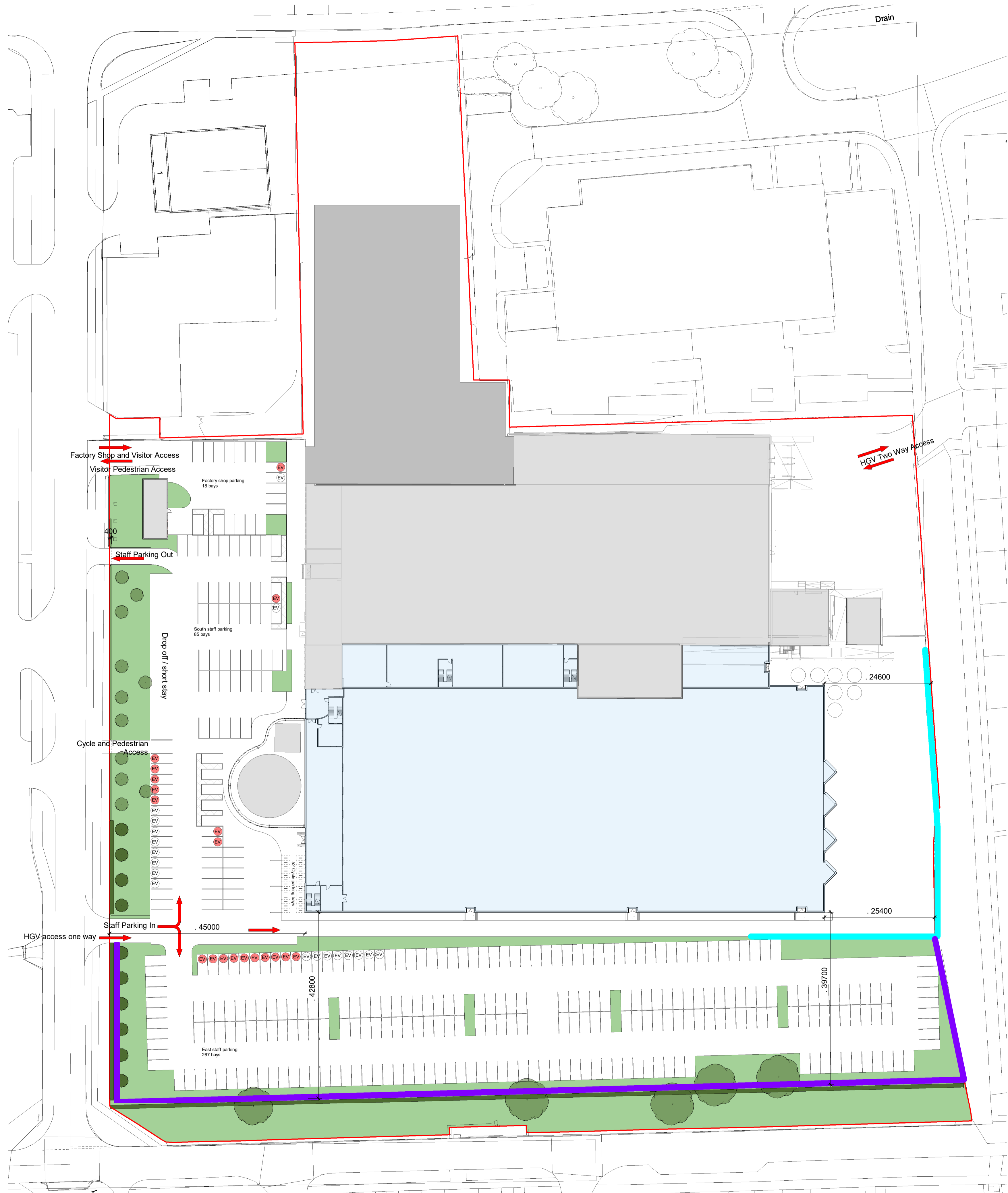
Application Ref:21/02422/FUL

Date Created: 05/09/2023

Location:Huntingdon

© Crown copyright and database rights 2023
Ordnance Survey HDC 100022322





- KEY**
- EXISTING BUILDINGS
 - PLANNING CONSENTED BUILDINGS
 - PROPOSED FACTORY EXTENSION
 - ACTIVE ELECTRIC VEHICLE CHARGING POINT
 - PASSIVE ELECTRIC VEHICLE CHARGING POINT
 - NEW TREE PLANTING
 - EXISTING TREE TO BE RETAINED
 - EXISTING HEDGE TO BE REMOVED
 - EXISTING HEDGE TO BE RETAINED
 - PROPOSED NEW HEDGE TO MATCH EXISTING
 - ACOUSTIC SCREEN 4M HIGH
 - ACOUSTIC SCREEN 2M HIGH

Notes

This document is the property of Walsh & Associates Ltd and may not be reissued, loaned or copied in part or in whole without written permission © 2020.

All dimensions are in millimetres unless stated otherwise.

This drawing should be read in conjunction with all other relevant information, specifications and schedules.

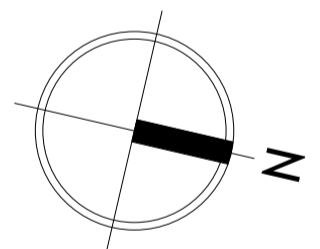
If this drawing is received electronically it is the recipient's responsibility to print the document at the correct scale and paper size.

All dimensions to be checked on site prior to commencing work and any discrepancies to be advised immediately.

All work to be carried out in accordance with all current and relevant British Standards and BS Codes of Practice.

Revision Details

| Revision | Description | Date |
|----------|---------------------------------------------------------------------------------------------------------------------------------------------|----------|
| F | Parking spaces omitted adjacent to trees | 02.11.23 |
| E | Position of acoustic screening indicated | 22.11.22 |
| D | Red line amended to incorporate Town Council retained land. Chocolate tank positions indicated. Roof plant extended to suit detailed design | 23.05.22 |
| C | Parking bay position altered | 16.03.22 |
| B | Pedestrian access widened | 15.02.22 |
| A | Planning dimensions added | 01.12.21 |



Project Title
Factory and Office Extension
 3 Redwings Way,
 Huntingdon, PE29 7HF

Client
Hotel Chocolat

Drawing Title
Proposed Site Plan

Status
PLANNING

Drawing Number
21121 - WA - 004

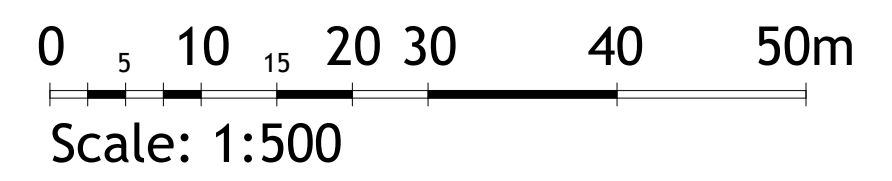
Revision Scale @ A1
F 1 : 500

Issue Date
AUG 21



Walsh & Associates Limited
 T 01206 480001
 E enquiries@walshandassociates.co.uk
 W www.walshandassociates.co.uk
 Town Wall House | Balkeine Hill | Colchester | Essex | CO3 3AD

1 Proposed Site Plan
 Scale 1 : 500



Notes

This document is the property of Walsh & Associates Ltd and may not be reissued, loaned or copied in part or in whole without written permission © 2020.

All dimensions are in millimetres unless stated otherwise.

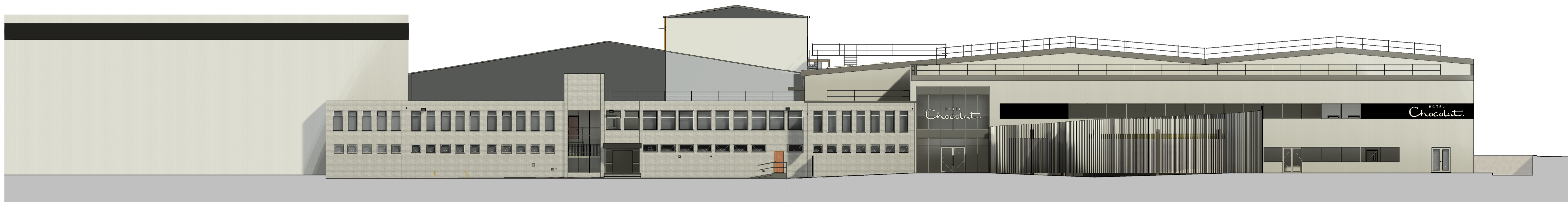
This drawing should be read in conjunction with all other relevant information, specifications and schedules.

If this drawing is received electronically it is the recipient's responsibility to print the document at the correct scale and paper size.

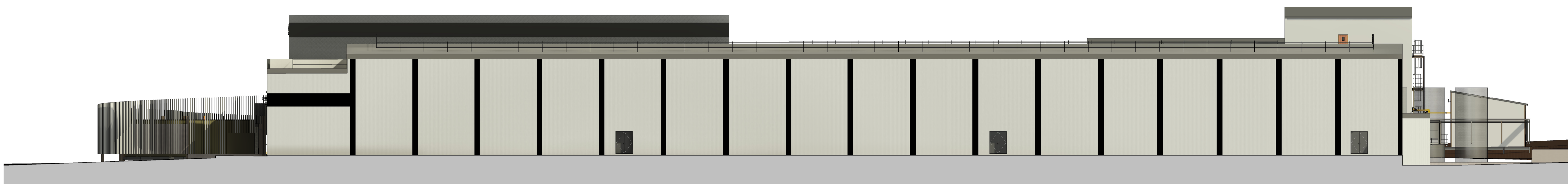
All dimensions to be checked on site prior to commencing work, and any discrepancies to be advised immediately.

All work to be carried out in accordance with all current and relevant British Standards and BS Codes of Practice.

Revision Details

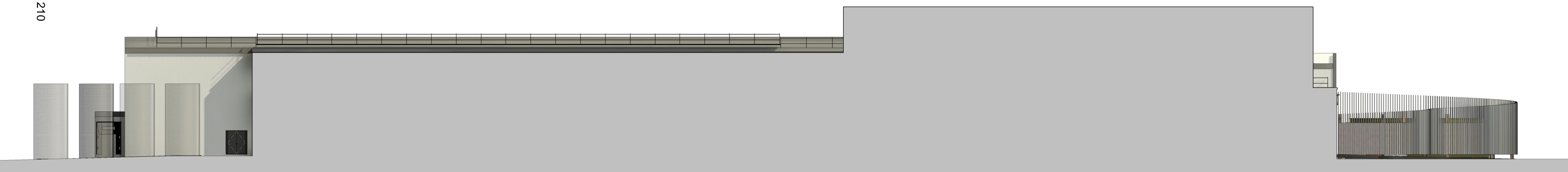


1 Proposed South Elevation - Planning
Scale 1 : 200

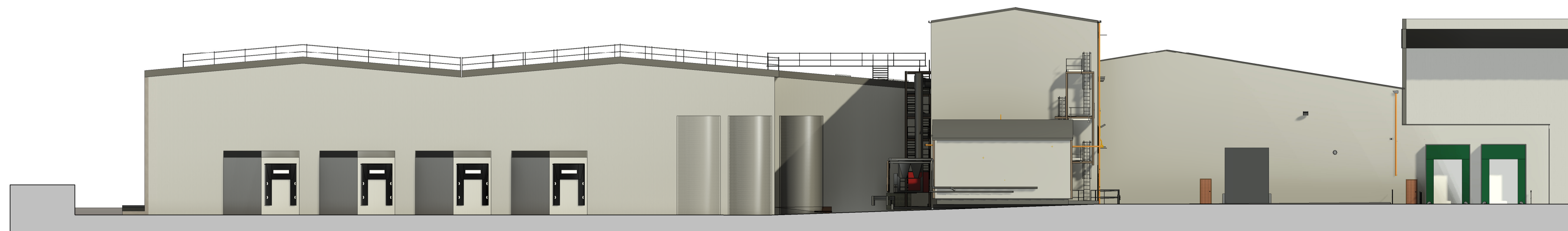


2 Proposed East Elevation - Planning
Scale 1 : 200

Page 137 of 210



3 Proposed West Elevation - Planning
Scale 1 : 200



4 Proposed North Elevation - Planning
Scale 1 : 200

Project Title
HP Max
3 Redwongs Way
Huntingdon PE29 7HF
Client
Hotel Chocolat

Drawing Title
Proposed Elevations - Planning

Status
STAGE 4

Drawing Number
21121 - WA - P107

Revision Scale @ A1
1 : 200

Issue Date
MAY 22



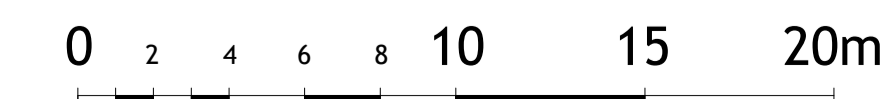
Walsh & Associates Limited

T 01206 480001

E enquiries@walshandassociates.co.uk

W www.walshandassociates.co.uk

Town Wall House | Balkeme Hill | Colchester | Essex | CO3 3AD



Scale: 1:200

This page is intentionally left blank

**DEVELOPMENT MANAGEMENT
COMMITTEE 20th November 2023**

Case No: 22/02162/FUL

**Proposal: ERECTION OF FOUR 5M POLES WITH CAMERAS FOR
CCTV AND ASSOCIATED POWER DISTRIBUTION
BOXES (PART RETROSPECTIVE)**

Location: BUCKDEN MARINA, MILL ROAD, BUCKDEN

Applicant: MR M PELHAM (BUCKDEN PROPERTIES)

Grid Ref: 521318 267338

Date of Registration: 18 OCT 2022

Parish: BUCKDEN

RECOMMENDATION - APPROVE

This application is referred to the Development Management Committee (DMC) because the Officer recommendation of approval is contrary the Parish Council recommendation of refusal.

1. DESCRIPTION OF SITE AND APPLICATION

Site and Surroundings

- 1.1 The Buckden Marina Complex lies to the east of the village of Buckden. It comprises of a number of, residential accommodation, holiday lodges, leisure complex facilities and moorings. The Marina is situated in the open countryside and forms part of the Ouse Valley Way Landscape Character Area.
- 1.2 There are a number of Tree Preservation Order's on the site. Public Right of Way 32/13 Footpath Buckden 13 runs from Mill Road north through Buckden Marina. The site is within the Environment Agency's Flood Zone 3. There are no other site constraints.

Proposal

- 1.3 The application seeks planning permission for the erection of four 5m high poles, cameras and power distribution boxes for the provision of CCTV coverage. The application is part retrospective as the poles have been erected and some of the boxes installed.
- 1.4 Plans have been amended during the course of the application to remove 2 of the 6 originally proposed CCTV poles. A CCTV

coverage plan has also been provided. A further consultation was carried out on this. The description was amended to reflect the above.

- 1.5 Officers have scrutinised the plans and have familiarised themselves with the site and surrounding area.

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (5 September 2023) (NPPF 2023) sets out the three objectives - economic, social and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2023 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).

- 2.2 The NPPF 2023 sets out the Government's planning policies for (amongst other things):
 - delivering a sufficient supply of homes;
 - building a strong, competitive economy;
 - achieving well-designed, beautiful and safe places;
 - conserving and enhancing the natural, built and historic environment

- 2.3 Planning Practice Guidance and the National Design Guide 2021 are also relevant and material considerations.

For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)
 - LP1: Amount of Development
 - LP2: Strategy for Development
 - LP3: Green Infrastructure
 - LP4: Contributing to Infrastructure Delivery
 - LP5: Flood Risk
 - LP7: Spatial Planning Areas
 - LP11: Design Context
 - LP12: Design Implementation
 - LP14: Amenity
 - LP15: Surface Water
 - LP16: Sustainable Travel
 - LP17: Parking Provision and vehicle movement
 - LP30: Biodiversity and Geodiversity
 - LP31: Trees, Woodland Hedges and Hedgerows
 - LP32: Protection of Open Space

- 3.2 Supplementary Planning Documents (SPD) and Guidance:
- Huntingdonshire Design Guide Supplementary Planning Document (2017):
 - Developer Contributions SPD (2011)
 - Huntingdonshire Landscape and Townscape Assessment (2007)
 - Cambridgeshire Flood and Water SPD 2017
 - Huntingdonshire Tree Guidance Note 3
 - Annual Monitoring Report – Part 1 (Housing) 2019/2019 (October 2019)
 - Annual Monitoring Report – Part 2 (Non- Housing) 2018/2019 (December 2019)
 - RECAP CCC Waste Management Design Guide (CCC SPD) 2012
 - Huntingdon Neighbourhood Plan 2018-2026 (adopted Sep 2019)

- 3.4 The National Design Guide (2021)
- * C1 - Understand and relate well to the site, its local and wider context
 - * I1 - Respond to existing local character and identity
 - * I2 - Well-designed, high quality and attractive
 - * B2 - Appropriate building types and forms
 - *M3 - Well-considered parking, servicing and utilities infrastructure for all users
 - * H1 - Healthy, comfortable and safe internal and external environment

3.5 Buckden Neighbourhood Plan

Policy Great Ouse Valley 1 – Protection of Ouse Valley by protecting the Ouse Valley Landscape Character Area.

For full details visit the government website [Local policies](#)

4. PLANNING HISTORY

- 4.1 None relevant.

5. CONSULTATIONS

- 5.1 Buckden Parish Council – Recommends Refusal.

23/12/2022 - It was noted that the application does not address all the issues set out as mandatory in the HDC validation checklist. These omissions include, but are not limited to, matters which the committee judged to be concerns about material planning considerations, as well as being of concern about the effect of this installation on the public using the B13 public footpath along the length of the proposed development/installation.

Specific concerns about material planning considerations identified, including noted deficiencies in the application:

1. Effect on public Rights of Way: Public Right of Way B13 was not shown on the location map submitted with this application. Also, the application incorrectly stated that the Right of Way is not affected
2. Effect on trees: The plan does not show the protected trees on adjacent land that could influence or be affected by the development
3. Privacy/Overlooking 1: The proposed development affects members of the public visiting the public footpath who would not expect their data to be collected and stored by a private company in a rural area with a low crime rate (Police info to BPC Annual Meeting).
4. Privacy/Overlooking 2: The proposed locations are along the road known as Ouse Valley Way which has 39 wooden lodges along its length.
 - The Location Plan shows these buildings adjacent to the development site. It was noted that whilst these were outside the red line, they would be overlooked as they would almost certainly be within the field of view of the proposed CCTV cameras.
 - Incomplete technical specifications of items to be installed if HDC were minded to approve this application. Specifically no details of the cameras or their field of search/view, although the proposed CCTV application states that 'dome' cameras will be used in at least 2 locations; these may be 360 degrees swivelling cameras in a location on land not owned by the applicant but instead land belonging to private lodges in an area where many children would be recorded
5. Planning/Supporting Statement: This is absent despite the requirements in the validation checklist for all applications to include the "context and need" for the development
 - The application does not explain how this proposed development of CCTV is a "suitable response to the site and its setting" (rural Buckden Marina estate)
6. Biodiversity: Application states that there is "no reasonable likelihood of protected or priority species being affected" nor harm to other biodiversity feature.
 - It fails to acknowledge that there is evidence of protected/ priority species including but not limited to Kingfishers, Badgers and Otters in locations directly affected by the proposed development
 - Post-meeting information: We have been advised that from the 'Magic maps' database – Priority Species layer it appears that within the site of this application there are "lapwing habitat issues"
7. No Flood Risk Assessment document has been undertaken nor included in the application.
 - This is contrary to the HDC requirement for such an assessment to be undertaken and included in all

- proposals in Flood Zones 2 and 3, as the whole proposed development site is in those flood zones
8. Other omissions/concerns: From site inspections by committee members and from information received, it appears that each CCTV post requires a cabinet to contain the electrical connections and/or WiFi links
 - The cabinets for this purpose are separate structures and appear to be engineering works in need of planning consent. However, they are not mentioned anywhere in the application – neither location nor technical specification
 - Further, we are advised that the cabinets purchased and already installed in some location for the proposed development are not of a specification to resist immersion as is known to happen due to river and other flood water remaining on the site sometime for days at a time. BPC asks that if HDC is minded to approve the application an informative is included to remind the applicants of the need to install controls that manage electrical supplies of a grade that will withstand this anticipated immersion and therefore maintain a safe environment for persons using the public footpath.
 9. The application is incorrect in stating that the work has not started as a number of poles and associated electricity supply areas have been installed already.

01/09/2023 - It was noted that the planning application number is the same as the original 2022 application but there are significant amendments, specifically a reduction in the number of pole/camera locations to four (from six) and that the height of poles with cameras is now 5metres in each case.

The latest drawings have added indicative lines/radii for a range and field of view of each of the cameras. It is of significant concern that these details cannot be considered further, or checked in any way, as no details of the cameras have been supplied at any time with this application.

The committee reviewed the latest information and also noted that at the time of their meeting there were 31 neighbour comments, and all appear to be objecting to this application.

The Committee agreed to re-submit the comments from Dec 2022 as they apply at least as much to this amended version, but to add at the beginning of the current response to HDC the following material considerations and a proposed Condition.

1. Overlooking and privacy: effect and intrusion on 'habitable rooms'

The committee noted that for any camera in the location at the end of Ouse Valley Way, near the river, to have the capability to fulfil

any meaningful purpose for site security, then the field and range and specification needed to be able to identify suspicious persons or vehicles along the affected stretch of Ouse Valley Way such that habitable rooms would be overlooked and identifiable images of persons inside those rooms would be captured.

This issue was illustrated for the committee with photos taken from the position of the installed camera pole at the north east corner of the site (near the river) showing the impact on 'habitable rooms' – *'meaning any rooms used or intended to be used for sleeping or living which are not solely used for cooking purposes, but does not include bath or toilet facilities, service rooms, corridors, laundry rooms, hallways or utility rooms.'*

2. Concerns regarding the Field of View and Range of cameras

This is not clear in any of the documentation accompanying either this amended plan or any previous documentation. The impact on persons using the Public Right of Way is therefore difficult, if not impossible, for the committee to assess.

3. Absence of a purpose or need for the development:

The Committee referred to 'Surveillance Camera Code of Practice' 1st published Jun 2013, amended Nov 2021, of which Principle 5 confirms that this application does not comply with good practice standards and guidance.

There is no demonstration of 'pressing need' and it is not proportionate to any risk to be managed in any of the four locations.

It was noted by the committee that the LPA (HDC) appears to be a relevant authority which is obliged to 'have regard to' this code of practice.

4. Misleading information in the new plan:

The committee was made aware that the plan shows field of view of five (5) cameras, but the application only refers to four (4) poles with cameras.

The committee has been made aware that the fifth location, immediately opposite the main entrance to the Buckden Marina estate, off Mill Road, is not part of the development applied for.

The committee noted that the photo submitted purporting to show dense vegetation shielding one of the dome cameras was not relevant to the application being:

- (1) Taken from an angle where it provided no such evidence and it was noted that there are lodges with habitable rooms on the other side of the hedge shown that would be overlooked if in the future significant work on the hedge were permitted and undertaken.

(2) The photograph is a 2016 Google shot parallel to the length of the hedge, giving no detail in relation to the applied-for pole & camera location.

○ **Inadequacy of the application in multiple aspects relating to material planning matters**

BPC recommends that this amended application be refused because, despite the many months that have elapsed since then and the multiple material concerns raised by BPC in December 2022, the detail provided on behalf of the applicants at this time is of very poor quality, with multiple omissions in relation to material planning matters, including insufficient information supplied with the latest design/plan.

In the alternative we recommend that the application be withdrawn so that a new application which addresses all requirements from HDC in their validation checklist, and the material planning concerns raised by BPC, are properly dealt with as we have noted in HDC approach to other inadequate planning applications.

Conditions:

BPC recommends that if HDC were minded to approve this application, a Condition be imposed that

“Appropriate signage be provided at each camera location, with a clear explanation how to contact the CCTV camera monitoring company and/or site owner for a copy of the personal data captured.”

BPC considers this important as the cameras overlook a Public Right of Way and people whose images are captured by the system would need such information as they have a ‘right of erasure’.

- 5.2 Environment Agency - No objection. They provide information for the applicant in respect of their separate Environmental Permitting process, this does not fall within the remit of Planning.
- 5.3 Tree Officer – No objection subject to a condition regarding an Arboricultural Impact Assessment (AIA).

Usually, we would expect an application to be supported with an Arboricultural Impact Assessment, Arboricultural Method Statement and Tree Protection Plan where trees are close to the proposals. In this instance these documents have not been provided and I understand the poles, boxes and cables have already been installed / laid. From the positioning of the poles/controlboxes it is anticipated there is unlikely to have been significant harm to the retained, protected trees from the installation of these items, but without details of service runs between poles, it is unknown if any damage has occurred from this element of the proposal. Given the above, if the application is to be approved, it would be my recommendation an Arboricultural

Impact Assessment is provided. This assessment should not only cover the impact of the installation of the poles, boxes and service runs, but also assess if any damage has occurred from the installation of these features and provide recommendations for any remedial action necessary to mitigate the damage.

- 5.4 Definitive Map Team – No objection. Recommends informatives regarding the public right of way.
- 5.5 Designing Out Crime Officer – No objection as the CCTV will enhance the safety and security of both the site and residents. A search of our crime and incident system for the last 2 years shows the overall crime statistics for the Buckden Ward is reasonably low considering the location is close to the A1 corridor, and likewise for Buckden Marina the data is low in terms of crime.

Although CCTV is not a solution to all security problems it can help deter criminals and assist with the identification of offenders after a crime has been committed. If a CCTV system has a recording facility only, it can be a useful investigate tool whereas a monitored system allows a real-time reaction to criminal activity. CCTV is also often very useful in mitigating against risk where other forms of security are not feasible. Further details regarding video surveillance systems are available at the following link: www.securedbydesign.com/guidance/design-guide. NSI and SSAIB accreditation is also applicable for CCTV, including signage. CCTV should be registered with the Information Commissioners Office (ICO) and signage should be compliant with the ICO Code of Practice.

6. REPRESENTATIONS

- 6.1 Multiple representations have been received from 24 local residents objecting to the proposal. Their representations can be summarised as:
- The CCTV will affect the enjoyment of Buckden Marina
 - The CCTV will affect the users of the public footpath Buckden 13
 - Do not wish for video to be taken of them without consent
 - What is the justification for and purpose of the CCTV?
 - There is no mention of: camera fields/depth of view; sensor performance; the communication links/frequencies to be used between the cameras/poles; the control systems and who would manage them; and data handling and protection.
 - Lodges already have their own CCTV
 - The CCTV will be obtrusive
 - The CCTV will be overbearing
 - The CCTV will result in a loss of privacy
 - The CCTV indicates antisocial behaviour
 - Will reduce the value of the lodges

- The site has not had security problems for decades why is there suddenly a need to monitor the site
- I understand 52 households/people were consulted and made no comments who were they.
- There are a number of vehicle and pedestrian gates on site that have not been included in this application
- The residents were not consulted by the applicant about the requirements for CCTV or their installation
- Incomplete application with missing information
- No wildlife information submitted with the application
- Gates are not included in the application
- Poor design/installation
- Impact upon the character of Ouse Valley Way
- Flood risk
- Need to have regard to Surveillance Camera Code of Practice is issued by the Home Secretary under the provisions of the Protection of Freedoms Act 2012

7. ASSESSMENT

- 7.1 When determining planning applications, it is necessary to establish what weight should be given to each plan's policies in order to come to a decision. The following legislation, government policy and guidance outline how this should be done.
- 7.2 As set out within the Planning and Compulsory Purchase Act 2004 (Section 38(6)) and the Town and Country Planning Act 1990 (Section 70(2)) in dealing with planning applications the Local Planning Authority shall have regard to have provisions of the development plan, so far as material to the application, and to any other material considerations. This is reiterated within paragraph 47 of the NPPF (2021). The development plan is defined in Section 38(3)(b) of the 2004 Act as "the development plan documents (taken as a whole) that have been adopted or approved in that area".
- 7.3 In Huntingdonshire the Development Plan consists of:
- Huntingdonshire's Local Plan to 2036 (2019)
 - Cambridgeshire & Peterborough Minerals and Waste Local Plan (2021)
- 7.4 The statutory term 'material considerations' has been broadly construed to include any consideration relevant in the circumstances which bears on the use or development of the land: *Cala Homes (South) Ltd v Secretary of State for Communities and Local Government & Anor* [2011] EWHC 97 (Admin); [2011] 1 P. & C.R. 22, per Lindblom J. Whilst accepting that the NPPF does not change the statutory status of the Development Plan, paragraph 2 confirms that it is a material consideration and significant weight is given to this in determining applications.

- 7.5 The main issues to consider as part of this application are:
- Principle of Development
 - Design, Visual Amenity and impact on the surrounding area
 - Residential Amenity
 - Biodiversity
 - Trees
 - Flood Risk and drainage
 - Other matters

Principle of Development

7.6 The application seeks planning permission for the erection of four 5m high poles (shown as squares on plan) with cameras and power distribution boxes for CCTV.

7.7 The site is situated within the Green Infrastructure Priority Area - Great Ouse Valley Landscape Character Area – as defined by Huntingdonshire’s Local Plan to 2036 policy LP3 and the Local Plan Policies Map.

7.8 Policy LP3 (Green Infrastructure) states:

A proposal within the Ouse Valley Landscape Character Area, defined in the Huntingdonshire Landscape and Townscape Assessment Supplementary Planning Document will be supported where it contributes to the landscape, wildlife, cultural and historical value of the area.

7.9 Buckden Neighbourhood Plan Policy Great Ouse Valley 1- Protection of Ouse Valley states that:

Development proposals shall not take place in, or encroach into, the Great Ouse Valley as defined in Policy LP 3 of the Huntingdonshire Local Plan and surrounding land and habitats, to the east of the existing built area of the village. Exceptionally, development proposals to support Anglian Water’s infrastructure, footpath and cycle provision or conservation projects may be supported.

7.10 As the proposal is for CCTV poles and associated infrastructure, the proposal would have very limited contribution, if any, to the landscape, wildlife, cultural and historical value of the area. However, given the limited height, width and scale of the proposed development and the siting of the poles near existing built form, Officers are of the view that the proposal would not result in any significant harm to the landscape, wildlife, cultural and historical value of the area. The proposal therefore meets the aims of the Local Plan Policy LP3 and Buckden Neighbourhood Plan Policy Great Ouse Valley 1 – Protection of Ouse Valley by protecting the Ouse Valley Landscape Character Area.

- 7.11 As the site is situated within the open countryside, policy LP10 (The Countryside) is also relevant.
- 7.12 Policy LP10 (The Countryside) of the Local Plan to 2036 provides guidance on the countryside and states that development in the countryside will be restricted to the limited opportunities as provided for in other policies of this plan.
- 7.13 Policy LP10 (The Countryside) All development in the countryside must:
- a. Seek to use land of lower agricultural value in preference to land of higher agricultural value
 - i. Avoiding the irreversible loss of the best and most versatile agricultural land (Grade 1 to 3a) where possible
 - ii. Avoiding Grade 1 agricultural land unless there are exceptional circumstances where the benefits of the proposal significantly outweigh the loss of land
 - b. Recognise the intrinsic character and beauty of the countryside
 - c. Not give rise to noise, odour, obtrusive light or other impacts that would adversely affect the use and enjoyment of the countryside by others
- 7.14 As outlined above, given the limited height, width and scale of the proposed development and the siting of the poles etc near to existing built form, Officers are of the view that the proposal would comply with the aims of Policy LP10, by not adversely impacting upon the openness of the surrounding countryside.
- 7.15 For these reasons above, Officers consider that the principle of development is acceptable in this instance, subject to the discussion of the below material considerations.

Public Right of Way

- 7.16 Public Right of Way 32/13 Footpath Buckden 13 runs from Mill Road north through Buckden Marina. 3 of the proposed CCTV mounted poles are located adjacent to the public right of way.
- 7.17 Local residents have raised concerns about the impact of the CCTV upon the enjoyment of the public right of way.
- 7.18 There are two relevant policies for public rights of ways.
- 7.19 Policy LP10 states Development in the countryside will be restricted to the limited and specific opportunities as provided for in other policies of this plan. All development in the countryside must:
- c. not give rise to noise, odour, obtrusive light or other impacts that would adversely affect the use and enjoyment of the countryside by others.

- 7.20 LP16 states, Where a proposal would affect an existing public right of way or other formal non-motorised users' route, this route should be protected or enhanced within the proposed development. Where this is not possible it should be diverted to a safe, clear and convenient alternative route. The stopping up of paths/ routes will only be acceptable where all opportunities to provide a safe, clear and convenient alternative have been investigated and proved to be unsuitable.
- 7.21 Members should note that there are already other locations where public right of ways pass through privately owned sites and where in these cases owners have erected their own CCTV for security. As a result the public right of ways are also covered by CCTV, so this situation is not unique to this proposed site. Given that CCTV is designed to help prevent and detect crime, and in turn, hopefully make routes safer, Officers do not consider it would have any significant adverse impact upon the enjoyment of the public using the right of way. The Definitive Maps Team raise no objection to the proposal. It is considered the proposal would therefore comply with policies LP10 part c) and LP16 of the Huntingdonshire's Local Plan to 2036.

Design, Visual Amenity and impact on the surrounding area

- 7.22 Policy LP11 of the Local Plan states that proposals will be supported where it is demonstrated that they positively respond to their context and draw inspiration from the key characteristics of their surroundings, including the natural, historic and built environment.
- 7.23 Policy LP12 of the Local Plan states that proposals will be supported where they contribute positively to the area's character and identity and where they successfully integrate with adjoining buildings, topography and landscape.
- 7.24 The application seeks planning permission for the erection of four 5m poles (shown as squares on plan) with cameras, and power distribution boxes for CCTV.
- 7.25 As outlined above, the site is situated within the open countryside.
- 7.26 The nature of the proposed development is metal poles with CCTV cameras mounted on them and power boxes. As outlined above, the proposed poles are limited in height, width and scale, they would also be sited near to existing built form. For these reasons, Officers do not consider them to be an inappropriate addition and would not have a harmful impact upon the openness of the countryside or the character of the area.
- 7.27 Officers note the CCTV poles will have electrical boxes associated with them and the plan shows the location of these. Given the

minor size of these, Officers consider the detailed design of these can be secured by condition.

- 7.28 The design and siting of the proposed development is therefore considered to be in accordance with Policies LP11 and LP12 of Huntingdonshire's Local Plan to 2036 and is consistent with the design principles as set out in the Huntingdonshire Design Guide SPD (2017).

Residential Amenity

- 7.29 Policy LP14 states that a proposal will be supported where a high standard of amenity is maintained for all occupiers of neighbouring land and buildings.
- 7.30 Officers note the concerns raised by local residents regarding the potential impact upon existing privacy. As part of the assessment of the application, Officers have visited the site and reviewed the submitted CCTV coverage plan.
- 7.31 The CCTV pole located at the north of the site is shown to be fixed coverage (does not move side to side to increase coverage). Officers consider it would be appropriately placed to look down the access road and not directly into any of the adjacent residential accommodation. Whilst there may be a degree of loss of privacy for the surrounding accommodation, this would be limited given the oblique angles of the camera to these properties.
- 7.32 The CCTV pole located in the north western part of the site is shown to be full coverage. Officers note the submitted photo showing the landscape buffer between it and the nearest accommodation but also note that the buffer would be limited during the winter months. Officers consider there may be a degree of loss of privacy but it would be limited and oblique in nature, and so would not warrant a refusal of planning permission due to the impacts on residential privacy and amenity.
- 7.33 The other two proposed poles are situated further away (a minimum of 75m) from residential accommodation at the entrance to the Buckden Marina and would therefore not result in unacceptable impacts on the privacy of residential plots.
- 7.34 Given the siting, height, width and scale of the poles, the proposed development would not have a significant adverse overbearing or obtrusive impact upon any of the nearby accommodation.
- 7.35 In addition to the consideration of privacy under planning, there are other considerations the applicant will need to be aware of and accord with outside of the planning system such as Data Protection Act and Information Commissioners office (ICO), which is explored further in the below section titled 'Other Matters'. For

the reasons outlined above, Officers therefore consider the proposal would not result in an adverse impact in terms of overbearing, loss of light or loss of privacy in accordance with Policy LP14 of Huntingdonshire's Local Plan to 2036.

Biodiversity

- 7.36 Policy LP30 of Huntingdonshire's Local Plan to 2036 requires proposals to demonstrate that all potential adverse impacts on biodiversity and geodiversity have been investigated. Policy LP30 also requires development proposals to ensure no net loss in biodiversity and provide a net gain in biodiversity where possible.
- 7.37 No ecology information has been submitted with the application. Officers note local resident's concerns regarding this and the potential impact upon local wildlife.
- 7.38 The proposed poles are limited in height, width and scale and would be sited near existing built form. 5m height is not considered to be excessive. For these reasons, it is considered the development would not have an adverse impact on biodiversity in accordance with Policy LP30 of the Local Plan, paragraph 174 d) of the NPPF (2023), The Wildlife and Countryside Act (1981) and the Habitats and Protected Species Regulations (2017).

Trees

- 7.39 Policy LP31 of the Local Plan states a proposal will be required to demonstrate that the potential for adverse impacts on trees, woodland, hedges and hedgerows has been investigated. A proposal will only be supported where it seeks to conserve and enhance any existing tree, woodland, hedge or hedgerow of value that would be affected by the proposed development. Where loss, threat or damage cannot be fully addressed through minimisation and/ or mitigation measures the proposal may be supported if alternative measures such as reinstatement of features, additional landscaping, habitat creation or tree planting will compensate for the harm and can be implemented and established before development starts.
- 7.40 Officers note the concerns raised by local residents about the impact upon of trees. The site is covered by multiple Tree Preservation Orders. The Tree Officer has been consulted and recommends the inclusion of a planning condition regarding the submission of an arboricultural impact assessment should Members be minded to grant planning permission.
- 7.41 Subject to the inclusion of the recommended condition, Officers consider the proposal would comply with Policy LP31 of Huntingdonshire's Local Plan to 2036.

Flood Risk and Drainage

- 7.42 National guidance and Policy LP5 of the Local Plan to 2036 seek to steer new developments to areas at lowest risk of flooding and advises this should be done through application of the Sequential Test, and if appropriate the Exceptions Test (as set out in paragraphs 159-169 of the NPPF (2023)).
- 7.43 The application site is situated in Flood Zone 3 based on the Environment Agency Floods Maps and the Strategic Flood Risk Assessment (2017) and is therefore at high risk of flooding.
- 7.44 Given the minor nature of the proposal, 4 CCTV poles and associated equipment, Officers consider the proposal would not have any significant impacts in terms of flood risk.
- 7.45 The proposed development is therefore considered to accord with Policies LP5, LP6 and LP23 part d) of the Local Plan to 2036 and the NPPF (2023) in this regard.

Other Matters

Outstanding neighbour representations

- 7.46 Local residents have queried the justification for the proposal and have raised concerns about data protection and how the CCTV will be used. Officers note these concerns.
- 7.47 The Designing Out Crime Officer has raised no objection to the proposal as CCTV would enhance the safety and security of both the site and residents. Although CCTV is not a solution to all security problems it can help deter criminals and assist with the identification of offenders after a crime has been committed.
- 7.48 Officers have assessed the planning application in front of them and have had regard to the relevant planning legislation and planning policy. It is the duty of the applicant and operator of the CCTV to ensure they have had regard to other legislation and guidance that is separate from planning before the installation of the CCTV such as Data Protection Act and Information Commissioners office (ICO). The granting of planning permission does not override any other legislation requirements that sits outside of planning legislation/remit.
- 7.49 The Parish Council have recommended a condition if the Council is minded to approve: "Appropriate signage be provided at each camera location, with a clear explanation how to contact the CCTV camera monitoring company and/or site owner for a copy of the personal data captured." Officers consider this would not meet the 6 tests for conditions as it is not a planning matter. However, an informative is recommended should the application be considered acceptable by Members and approved that reminds the applicant

of their duty to ensure compliance with other legislation and guidance that is separate from planning before the installation of the CCTV such as Data Protection Act and Information Commissioners office (ICO).

- 7.50 Local residents have objected to the development due to the potential impact on the value of nearby residential properties. This is not a material planning consideration.
- 7.51 Officers note the concerns raised by local residents about the application being incomplete or documents are outdated. The application has been in the system for a while. Following site visits and a detailed review of the application, Officers consider they have enough information in this instance to assess the proposal and form a view.
- 7.52 The application does not include the gates mentioned by local residents.

Conclusion and Planning Balance

- 7.53 As outlined above, all planning applications should be determined in accordance with the development plan unless material considerations indicate otherwise.
- 7.54 Officers have assessed the proposed 4 CCTV poles and associated equipment and consider the proposal by virtue of its scale and siting to be acceptable in terms of principle of development, visual impact, residential amenity, biodiversity, trees and flood risk.
- 7.55 Having regard to all relevant material considerations, it is recommended that planning permission be granted in this instance.

8. RECOMMENDATION – APPROVAL, subject to the following conditions:

1. Time
2. Drawings
3. Electrical cabinet details
4. Trees - AIA

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388424 and we will try to accommodate your needs.

CONTACT OFFICER:

Enquiries about this report to **Lewis Tomlinson Senior Development Management Officer** – lewis.tomlinson@huntingdonshire.gov.uk

From: clerk@buckdenpc.org.uk
Sent: 23 December 2022 16:12
To: DMAdmin
Subject: Buckden PC planning recommendations to: - Buckden Marina Mill Road Buckden (ref 22/02162/FUL)

Dear Planners,

Erection of four 5m poles (shown as squares on plan) and two 3m poles (shown as circles on plan) with cameras for CCTV. Site Address: Buckden Marina Mill Road Buckden Reference: 22/02162/FUL –

BPC Planning Committee reviewed the planning consultation and considered the residents' comments.

BPC Recommends Refusal

It was noted that the application does not address all the issues set out as mandatory in the HDC validation checklist. These omissions include, but are not limited to, matters which the committee judged to be concerns about material planning considerations, as well as being of concern about the effect of this installation on the public using the B13 public footpath along the length of the proposed development/installation.

Specific concerns about material planning considerations identified, including noted deficiencies in the application:

1. Effect on public Rights of Way: Public Right of Way B13 was not shown on the location map submitted with this application.
 - Also, the application incorrectly stated that the Right of Way is not affected
2. Effect on trees: The plan does not show the protected trees on adjacent land that could influence or be affected by the development
3. Privacy/Overlooking 1: The proposed development affects members of the public visiting the public footpath who would not expect their data to be collected and stored by a private company in a rural area with a low crime rate (Police info to BPC Annual Meeting).
4. Privacy/Overlooking 2: The proposed locations are along the road known as Ouse Valley Way which has 39 wooden lodges along its length.
 - The Location Plan shows these buildings adjacent to the development site. It was noted that whilst these were outside the red line, they would be overlooked as they would almost certainly be within the field of view of the proposed CCTV cameras.
 - Incomplete technical specifications of items to be installed if HDC were minded to approve this application. Specifically no details of the cameras or their field of search/view, although the proposed CCTV application states that 'dome' cameras will be used in at least 2 locations; these may be 360 degrees swivelling cameras in a location on land not owned by the applicant but instead land belonging to private lodges in an area where many children would be recorded
5. Planning/Supporting Statement: This is absent despite the requirements in the validation checklist for all applications to include the "context and need" for the development
 - The application does not explain how this proposed development of CCTV is a "suitable response to the site and its setting" (rural Buckden Marina estate)
6. Biodiversity: Application states that there is "no reasonable likelihood of protected or priority species being affected" nor harm to other biodiversity feature.
 - It fails to acknowledge that there is evidence of protected/ priority species including but not limited to Kingfishers, Badgers and Otters in locations directly affected by the proposed development
 - Post-meeting information: We have been advised that from the 'Magic maps' database – Priority Species layer it appears that within the site of this application there are "lapwing habitat issues"
7. No Flood Risk Assessment document has been undertaken nor included in the application.
 - This is contrary to the HDC requirement for such an assessment to be undertaken and included in all proposals in Flood Zones 2 and 3, as the whole proposed development site is in those flood zones

8. Other omissions/concerns: From site inspections by committee members and from information received, it appears that each CCTV post requires a cabinet to contain the electrical connections and/or WiFi links
- The cabinets for this purpose are separate structures and appear to be engineering works in need of planning consent. However, they are not mentioned anywhere in the application – neither location nor technical specification
 - Further, we are advised that the cabinets purchased and already installed in some location for the proposed development are not of a specification to resist immersion as is known to happen due to river and other flood water remaining on the site sometime for days at a time. BPC asks that if HDC is minded to approve the application an informative is included to remind the applicants of the need to install controls that manage electrical supplies of a grade that will withstand this anticipated immersion and therefore maintain a safe environment for persons using the public footpath.
9. The application is incorrect in stating that the work has not started as a number of poles and associated electricity supply areas have been installed already.

Enforcement notice: BPC was advised at the meeting that the application fails to address a number of issues set out in the HDC notice to the site owners/applicants, and which were deemed by residents to be important. Concern was raised by residents about these at the meeting, where BPC noted that these were not included in the application before the committee and were not therefore something BPC could comment upon in relation to application 22/02162/FUL.

- Gates without planning consent: these have already been installed across vehicle access to the lodges on Marina View, Ouse Valley Way and Watersmead.
- Risk to access by Emergency Vehicles: concern was raised that if flooding on the site meant that these electrically-controlled gates were stuck in a closed position, there could be serious implications for all emergency services
- Restricted access for persons with disability e.g. using mobility scooters or wheelchairs: pedestrian gates have been placed alongside the vehicle gates, apparently to protect gate sensors and other parts of the gates' mechanisms. However, when the vehicle gates are closed this alternative access for visitors on foot do not appear to provide suitable access for persons with mobility issues

Many thanks

PLEASE SUBSCRIBE TO THE **PARISH COUNCIL NEWS LETTER** via the Parish Council web site
<https://buckdenpc.org.uk/>

Please 'like' to follow our **Facebook** page:
<https://www.facebook.com/Buckden-Parish-Council-101476219095385>

*Clerk and Proper Officer to Buckden Parish Council
Buckden Village Hall
Burberry Road
Buckden PE19 5UY*

Please note a new email address for the Parish Council
Email: clerk@buckdenpc.org.uk
Website: <https://buckdenpc.org.uk/>

This email or any attachment is confidential, intended for the addressee only. If the email has been mis-directed please delete it and inform the sender. The email may contain personal data as defined under the General Data Protection Regulation 2018 (GDPR). Please note that where permitted under GDPR, correspondence with the Council may be viewed by other authorised persons or organisations under the Freedom of Information

From: clerk@buckdenpc.org.uk
Sent: 01 September 2023 16:04
To: DMAdmin
Subject: Buckden Parish Council Planning Recommendations to : - Buckden Marina Mill Road Buckden (ref 22/02162/FUL)

Importance: High

Dear Planners,

Buckden Marina Mill Road Buckden (ref 22/02162/FUL) - BPC recommends REFUSAL

Erection of four 5m poles with cameras for CCTV. Site Address: Buckden Marina Mill Road Buckden

Ref. documents on HDC public access website dated 21 August 2023

It was noted that the planning application number is the same as the original 2022 application but there are significant amendments, specifically a reduction in the number of pole/camera locations to four (from six) and that the height of poles with cameras is now 5metres in each case.

The latest drawings have added indicative lines/radii for a range and field of view of each of the cameras. It is of significant concern that these details cannot be considered further, or checked in any way, as no details of the cameras have been supplied at any time with this application.

The committee reviewed the latest information and also noted that at the time of their meeting there were 31 neighbour comments, and all appear to be objecting to this application.

Please see Appendix 1 for the BPC recommendation submitted to HDC on 23 Dec 2022.

The Committee agreed to re-submit the comments from Dec 2022 as they apply at least as much to this amended version, but to add at the beginning of the current response to HDC the following material considerations and a proposed Condition.

1. Overlooking and privacy: effect and intrusion on 'habitable rooms'

The committee noted that for any camera in the location at the end of Ouse Valley Way, near the river, to have the capability to fulfil any meaningful purpose for site security, then the field and range and specification needed to be able to identify suspicious persons or vehicles along the affected stretch of Ouse Valley Way such that habitable rooms would be overlooked and identifiable images of persons inside those rooms would be captured.

This issue was illustrated for the committee with photos taken from the position of the installed camera pole at the north east corner of the site (near the river) showing the impact on 'habitable rooms' – *'meaning any rooms used or intended to be used for sleeping or living which are not solely used for cooking purposes, but does not include bath or toilet facilities, service rooms, corridors, laundry rooms, hallways or utility rooms.'*

2. Concerns regarding the Field of View and Range of cameras

This is not clear in any of the documentation accompanying either this amended plan or any previous documentation. The impact on persons using the Public Right of Way is therefore difficult, if not impossible, for the committee to assess.

3. Absence of a purpose or need for the development:

The Committee referred to 'Surveillance Camera Code of Practice' 1st published Jun 2013, amended Nov 2021, of which Principle 5 confirms that this application does not comply with good practice standards and guidance.

There is no demonstration of 'pressing need' and it is not proportionate to any risk to be managed in any of the four locations.

It was noted by the committee that the LPA (HDC) appears to be a relevant authority which is obliged to 'have regard to' this code of practice.

4. Misleading information in the new plan:

The committee was made aware that the plan shows field of view of five (5) cameras, but the application only refers to four (4) poles with cameras.

The committee has been made aware that the fifth location, immediately opposite the main entrance to the Buckden Marina estate, off Mill Road, is not part of the development applied for.

The committee noted that the photo submitted purporting to show dense vegetation shielding one of the dome cameras was not relevant to the application being:

- (1) Taken from an angle where it provided no such evidence and it was noted that there are lodges with habitable rooms on the other side of the hedge shown that would be overlooked if in the future significant work on the hedge were permitted and undertaken.
- (2) The photograph is a 2016 Google shot parallel to the length of the hedge, giving no detail in relation to the applied-for pole & camera location.

5. Inadequacy of the application in multiple aspects relating to material planning matters

BPC recommends that this amended application be refused because, despite the many months that have elapsed since then and the multiple material concerns raised by BPC in December 2022, the detail provided on behalf of the applicants at this time is of very poor quality, with multiple omissions in relation to material planning matters, including insufficient information supplied with the latest design/plan.

In the alternative we recommend that the application be withdrawn so that a new application which addresses all requirements from HDC in their validation checklist, and the material planning concerns raised by BPC, are properly dealt with as we have noted in HDC approach to other inadequate planning applications.

Conditions:

BPC recommends that if HDC were minded to approve this application, a Condition be imposed that *"Appropriate signage be provided at each camera location, with a clear explanation how to contact the CCTV camera monitoring company and/or site owner for a copy of the personal data captured."*

BPC considers this important as the cameras overlook a Public Right of Way and people whose images are captured by the system would need such information as they have a 'right of erasure'.

Appendix 1

In its previous submission in December 2022 BPC Recommended Refusal

The following is the detail of that response to HDC where concerns raised remain valid:

Previous description of the application:

Erection of four 5m poles (shown as squares on plan) and two 3m poles (shown as circles on plan) with cameras for CCTV. Site Address: Buckden Marina Mill Road Buckden Reference: 22/02162/FUL

It was noted that the application does not address all the issues set out as mandatory in the HDC validation checklist. These omissions include, but are not limited to, matters which the committee judged to be concerns about material planning considerations, as well as being of concern about the effect of this installation on the public using the B13 public footpath along the length of the proposed development/installation.

Specific concerns about material planning considerations were identified by BPC in December 2022, as well as deficiencies in the application:

1. Effect on Public Rights of Way:

- Public Right of Way B13 was not shown on the location map submitted with this application.

- Also, the application incorrectly stated that the Right of Way is not affected
- 2. **Effect on trees:** The plan does not show the protected trees on adjacent land that could influence or be affected by the development
- 3. **Privacy/Overlooking 1:** The proposed development affects members of the public visiting the public footpath who would not expect their data to be collected and stored by a private company in a rural area with a low crime rate (Police info to BPC Annual Meeting).
- 4. **Privacy/Overlooking 2:** The proposed locations are along the road known as Ouse Valley Way which has 39 wooden lodges along its length.
 - The Location Plan shows these buildings adjacent to the development site. It was noted that whilst these were outside the red line, they could be overlooked as they would almost certainly be within the field of view of the proposed CCTV cameras.
 - Incomplete technical specifications of items to be installed were provided. Specifically, no details of the cameras or their field of search/view, although the proposed CCTV application states that 'dome' cameras will be used in at least 2 locations; these may be 360 degrees swivelling cameras in an area where many children and vulnerable adults would be recorded
- 5. **Planning/Supporting Statement:** This is absent despite the requirements in the validation checklist for all applications to include the "context and need" for the development
 - The application does not explain how this proposed development of CCTV is a "suitable response to the site and its setting" (i.e. rural Buckden Marina estate)
- 6. **Biodiversity:** Application states that there is "no reasonable likelihood of protected or priority species being affected" nor harm to other biodiversity feature.
 - It fails to acknowledge that there is evidence of protected/ priority species including but not limited to Kingfishers, Badgers and Otters in locations directly affected by the proposed development
 - Post-meeting information: We have been advised that from the 'Magic maps' database – Priority Species layer it appears that within the site of this application there are "lapwing habitat issues" [See also Wildlife Trust response in 2023 on 22/01748 for the same site]
- 7. **No Flood Risk Assessment** document has been included in the application.
 - This is contrary to the HDC requirement for such an assessment to be undertaken and included in all proposals in Flood Zones 2 and 3 and the whole proposed development site is in those flood zones
- 8. **Other omissions/concerns:** From site inspections by committee members and from information received, it appears that each CCTV post requires a cabinet to contain the electrical connections and/or WiFi links
 - The cabinets for this purpose are separate structures and appear to be engineering works in need of planning consent. However, they are not mentioned anywhere in the application – neither location nor technical specification
- 9. **Current status of the work:** A number of poles and associated electricity supply areas have been installed already.

Many thanks

PLEASE SUBSCRIBE TO THE **PARISH COUNCIL NEWS LETTER** via the Parish Council web site
<https://buckdenpc.org.uk/>

Please 'like' to follow our **Facebook** page:
<https://www.facebook.com/Buckden-Parish-Council-101476219095385>

*Clerk and Proper Officer to Buckden Parish Council
Buckden Village Hall
Burberry Road
Buckden PE19 5UY*

Email: clerk@buckdenpc.org.uk
Website: <https://buckdenpc.org.uk/>

Development Management Committee



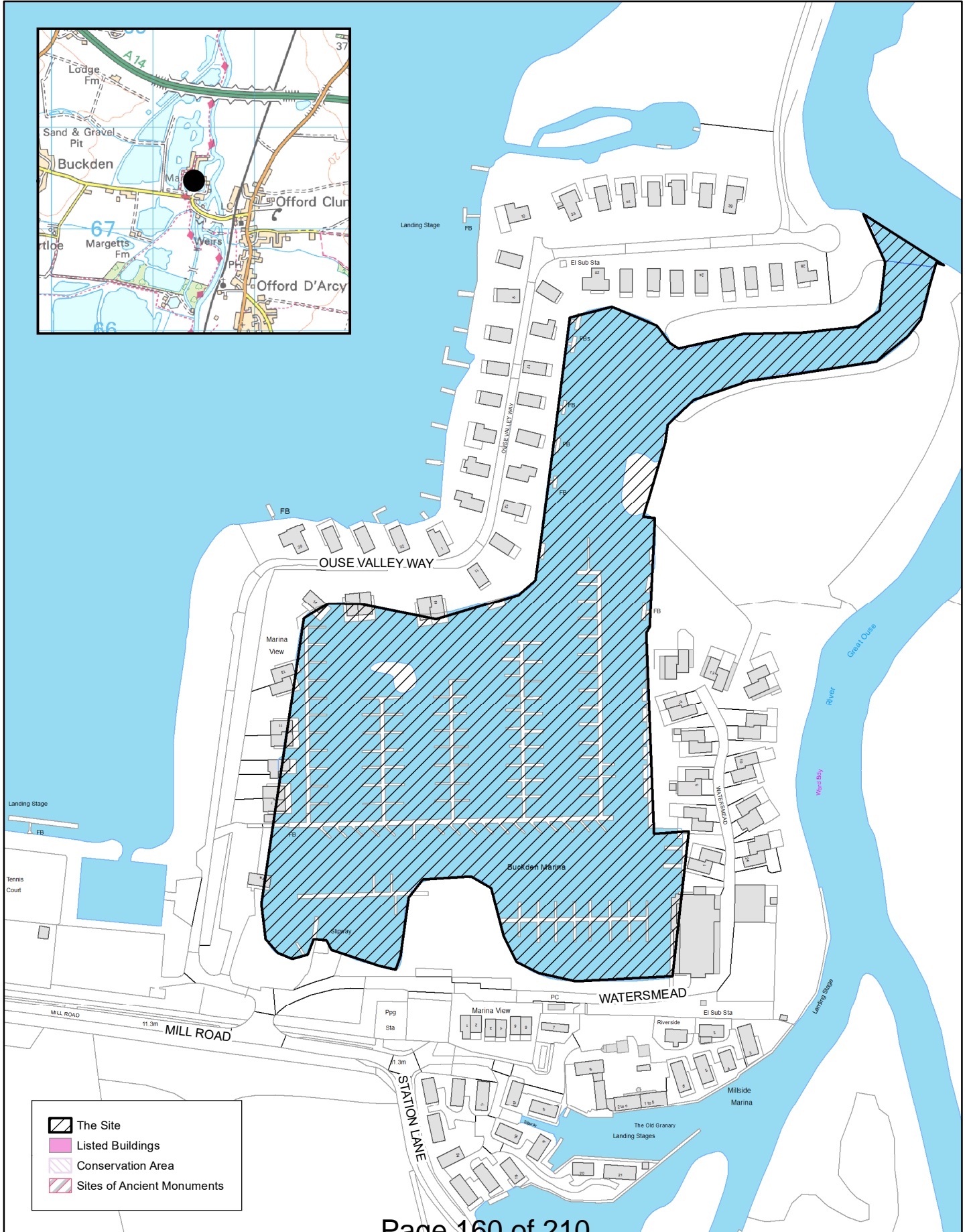
Scale = 1:2,500

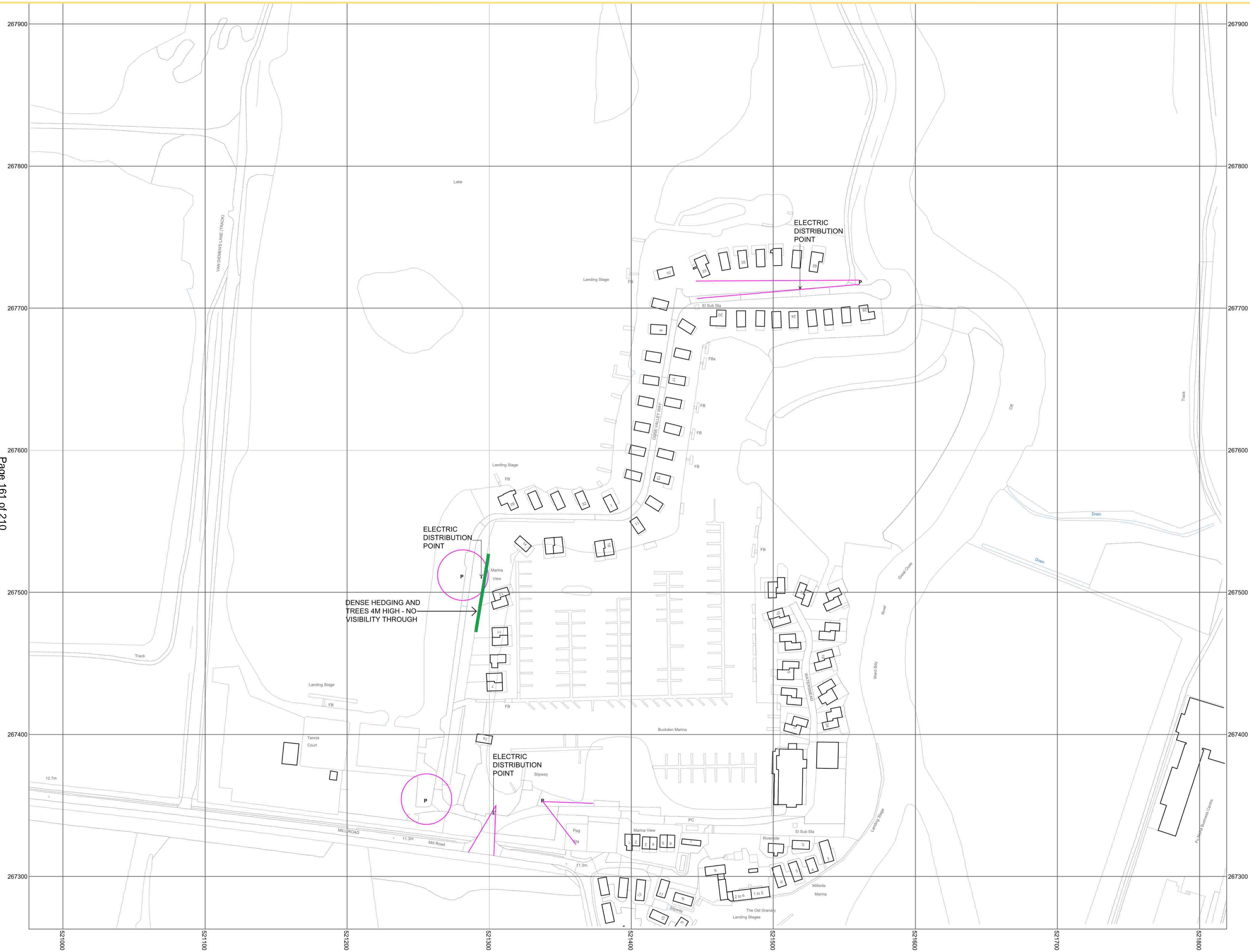
Application Ref:22/02162/FUL

Date Created: 05/09/2023

Location: Buckden

© Crown copyright and database rights 2023
Ordnance Survey HDC 100022322





NOTES -

- Drainage subject to a visit by the builder and assessment of existing drains.
- Party wall act may be required and is the responsibility of the homeowner, we can advise if required.
- Please review our Terms and Conditions on our website www.binneysimsdesign.co.uk
- Site plans and Location plans purchased from streetwise.net and are subject to their terms and conditions.
- Drawings are for planning purposes only.
- Prior to commencement of works the contractor is responsible for checking the plans to the site conditions. If any anomalies are found they are reported for rectification. Failure to do so at this stage will result in the contractor being liable for resulting costs incurred.
- Drawings are subject to structural engineering and building control.
- Copyright © 2023

Client:

Site Address:

Scale: 1:1250

Drawn By: *KSD*

Date: 22/09/23

Drawing No: 922-2 CCTV



This page is intentionally left blank

DEVELOPMENT MANAGEMENT COMMITTEE 20th November 2023

Case No: 23/00745/FUL

Proposal: Erection of a bespoke designed wheelchair friendly bungalow and associated ancillary works

Location: 49 St Neots Road Eaton Ford St Neots PE19 7BA

Applicant: Mr D Coutts

Grid Ref: 517389 259789

Date of Registration: 11.05.2023

Parish: St Neots

RECOMMENDATION - REFUSE

This application is referred to the Development Management Committee (DMC) in accordance with the Council's Scheme of Delegation as the officer recommendation of refusal is contrary to St. Neots Town Council's recommendation of approval.

1. DESCRIPTION OF SITE AND APPLICATION

Site and surrounding area

- 1.1 The application site comprises approximately 482 square metres (0.0482 hectares) of land sited on the northern side of St. Neots Road, Eaton Ford. The site is located between two dwellings (Nos. 47a and 49) and extends north-westwards back into the site so its rear boundary meets the rear of Nos. 1 and 2 Davey Mews. The site is predominantly open residential garden land with overgrown loose gravel to the front which provides an informal parking space for No.49. St. Neots Road. The rear of the site is bound by hedging where it meets the boundary shared with Davey Mews, with closed boarded timber fencing on the rear eastern boundary. Dwellings on the frontage of this section of St Neots Road are comprised of two storey terraced dwellings predominantly constructed in yellow brick with their ridge lines parallel to the road.
- 1.2 The site is within St Neots Conservation Area and is approximately 80 metres east from The White House, which is a Grade II listed building.
- 1.3 There is a tree to the rear of the site which is legally protected by virtue of its siting in a Conservation Area.

- 1.4 The site is located predominantly within Flood Zone 2 with a small section to the rear in Flood Zone 1 according to the Huntingdonshire Strategic Flood Risk Assessment 2017 (SFRA). The SFRA mapping for this site aligns with the Environment Agency Flood Maps for Planning. The site is also within an area with a high risk of Surface Water Flooding according to Environment Agency Flood Maps for Planning.

Proposal

- 1.5 The application seeks planning permission for the erection of a two-bedroomed bespoke designed wheelchair friendly bungalow and associated ancillary works. As reference is made to the proposal being for new accommodation for a wheelchair user Officers have had regards to this and this is addressed below in Section 7 of this report.
- 1.6 The submitted plans show the proposed dwelling to be set back approximately 35 metres into the site from St Neots Road. The proposed dwelling would be single storey, arranged in a two-wing shape with mono-pitched roofs angled inwards with a chimney and two rooflights on the north-western wing. Two off-road parking spaces are shown on the plans close to the south-western boundary leading from a drive and turning area from St Neots Road. Bin and cycle storage is shown to the rear of the dwelling. Rear amenity space is provided on the western and northern sides. Materials include a mixture of slate, vertical timber external cladding and exposed blue engineering brickwork bases on the exterior walls, slate roofing, polyester powder coated aluminium grey windows and doors with external timber linings, exposed blue engineering brickwork chimney stack with feature top and new timber fencing to the perimeter of the site.

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (September 2023) (NPPF 2023) sets out the three objectives – economic, social and environmental – of the planning system to contribute to the achievement of sustainable development. The NPPF 2023 at paragraph 10 provides as follows: ‘So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).’
- 2.2 The NPPF 2023 sets out the Government’s planning policies for (amongst other things):
- delivering a sufficient supply of homes;
 - building a strong, competitive economy;
 - achieving well-designed, beautiful and safe places;

- conserving and enhancing the natural, built and historic environment
- 2.3 Planning Practice Guidance and the National Design Guide 2021 are also relevant and material considerations.

For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)

- LP1: Amount of Development
- LP2: Strategy for Development
- LP4: Contributing to Infrastructure Delivery
- LP5: Flood Risk
- LP6: Waste Water Management
- LP7: Spatial Planning Areas
- LP11: Design Context
- LP12: Design Implementation
- LP14: Amenity
- LP15: Surface Water
- LP16: Sustainable Travel
- LP17: Parking Provision and Vehicle Movement
- LP25: Housing Mix
- LP30: Biodiversity and Geodiversity
- LP34: Heritage Assets and their Settings

3.2 St Neots Neighbourhood Plan 2014-2029

- Policy A3 (Design)
- Policy PT1 (Parking and Traffic)
- Policy PT2 (Parking and Traffic)
- Policy P4 (Sustainable Drainage)

3.3 Supplementary Planning Documents / Guidance:

- Cambridgeshire Flood and Water SPD 2017
- Huntingdonshire Design Guide Supplementary Planning Document (2017)
- Developer Contributions SPD (2011)
- Huntingdonshire Landscape and Townscape Assessment (2022)
- Annual Monitoring Report
- St Neots Conservation Area Character Assessment October 2006

3.4 Planning (Listed Buildings and Conservation Areas Act) Act 1990

Section 66 – General duty as respects listed buildings in exercise of planning functions.

- (5) In considering whether to grant planning permission or permission in principle for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

Section 72 – General duty as respects conservation areas in exercise of planning functions.

- (5) In the exercise, with respect to any buildings or other land in a conservation area, of any functions under or by virtue of any of the provisions mentioned in subsection (2), special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.

3.5 Section 149 of the Equality Act 2010.

3.6 For full details visit the government website [Local policies](#)

4. PLANNING HISTORY

4.1 18/00165/TRCA for Walnut - fell as has rot in several places, approved 22.03.2018.

4.2 18/70147/PENQ for Construct a detached single storey dwelling, REPLY dated 19.07.2018.

5. CONSULTATIONS

5.1 **St. Neots Town Council** - No objection.

Comments: Makes efficient use of the site. Satisfactory proposal in terms of scale and pattern of development.

5.2 **HDC Conservation Officer** – Objection.

Summary comments: The proposal would also fail to accord with Huntingdonshire Local Plan Policy LP34 as it would fail to respect existing views, street patterns and historic building lines.

5.3: **HDC Urban Design Officer** - Objection

Summary Comments: Recommendation – Refuse, the proposal large footprint and siting of the dwelling creates a cramped for of development which will lead to overbearing impacts to the rear gardens of Nos. 1 and 2 Davey Mews and Nos 47A and 49 St Neots Road contrary to Local Plan Policy LP14 part B Amenity. A smaller footprint dwelling or a lower ridge height (for example a dual pitched roof with a lower ridge height) is recommended to reduce potential overbearing impacts to neighbouring gardens.

5.4 **Cambridgeshire County Highways** – No objection.

Comments: Following a careful review of the documents provided to the Highway Authority as part of the above planning application, it was noted that the site is accessed from an existing vehicular access. The Design and Access Statement indicates that a turning area will be provided to enable vehicles to enter and exit in a forward gear. Therefore, no significant adverse effect upon the Public Highway should result from this proposal should it gain benefit of Planning Permission.

5.5 **Environmental Health Services** - No objection.

5.6 **Cambridgeshire County Archaeology Team** – No objection

5.7 **HDC Trees Officer** - Objection

Comments: I have reviewed the submitted documents in support of the above application. I note the site lies within a Conservation Area and there are trees present which will be impacted by the scheme. It would appear tree felling is also required. In order to understand the impact on trees and any mitigating proposals, an Arboricultural Impact Assessment, Tree Protection Plan and replanting scheme should be provided.

Without these documents I am unable to support the application.

5.8 **HDC Waste** – No response.

5.9 **Environment Agency**– No response.

6. REPRESENTATIONS

6.1 Two neighbour objections were received over the course of the application. A summary of issues raised are provided below. Full comments can be viewed on the council's website:

- Concern regarding access and ability to use the right of way for neighbours on Davey Mews
- Parking of cars to the front of the dwelling would not allow the proposal wheelchair access, nor is a path provided for wheelchair use.
- Concern that the dwelling would result in a loss of light to 2 Davey Mews – the rear of this dwelling is lounge / dining area.
- Rear patio area to 2 Davey Mews would sit in shade.
- Overbearing impact to 1 and 2 Davey Mews – Proposed dwelling is sited too close to these dwellings.
- Loss of view from dwellings on Davey Mews
- Mono-pitched, high roof line to the dwelling s out of character with dwellings in the area

- Concern regarding detrimental impact to biodiversity on site, hedge and trees should remain as provide habitat for wildlife.
- Concern that the proposal would remove conifer hedge which would screen the development.
- Concern that the site is in an area of historic flooding.

7. ASSESSMENT

7.1 The main issues to consider in assessing this application are whether there is any conflict with Development Plan policies. If there is any conflict, whether the application can be considered to be in accordance with the Development Plan when taken as a whole. If the application is not in accordance with the Development Plan, whether there are any material considerations, including the NPPF (2023), which indicate that planning permission should be granted. With this in mind, the report addresses the principal, important and controversial issues which are in this case:

- The Principle of Development
- Flood Risk
- Accessibility
- Design, Visual Amenity, and the Impact on the Character and Appearance of the Area and Designated Heritage Assets
- Residential Amenity
- Highway Safety, Access, and Parking Provision
- Biodiversity
- Accessible and Adaptable Homes
- Water Efficiency
- Developer Contributions
- Other Matters

The Principle of Development including Flood Risk

Principle of Development

7.2 The site is located within the built-up area of Eaton Ford which is identified as a Spatial Planning Area by Policy LP7 of the Huntingdonshire Local Plan to 2036 (the Local Plan). Policy LP7 of the Local Plan states that a proposal for housing development (class 'C3') will be supported where it is appropriately located within a built-up area of an identified Spatial Planning Area settlement. Therefore, in this instance it is considered that residential development of this site could be acceptable in principle, subject to any other primary considerations in this case which are flood risk and accessibility which are covered in the below sections.

Flood Risk

- 7.3 As set out within the introductory section of this report, the application site is in Flood Zone 2 (medium probability of flooding) and so is at a higher risk of flooding. It is noted that an adjoining neighbour has raised concerns regarding the site being in an area of historic flooding.
- 7.4 Paragraph 159 of the NPPF 2023 states that inappropriate development in areas at risk of flooding should be avoided by directing development away from areas at highest risk.
- 7.5 Paragraph 004 of Flood Risk and Coastal Change Planning Practice Guidance states that in areas of flood risk, planning authorities...apply the Sequential Test and, if needed, the Exception Test, to ensure that flood risk is minimised and appropriately addressed. Where the sequential and the exception tests have been applied as necessary and not met, development should not be allowed.
- 7.6 Paragraph 162 of the NPPF expands upon this and states that the aim of the sequential test is to steer new development to areas with the lowest risk of flooding from any source. Development should not be allocated or permitted if there are reasonably available sites appropriate for the proposed development in areas with a lower risk of flooding. The strategic flood risk assessment will provide the basis for applying this test. The sequential approach should be used in areas known to be at risk now or in the future from any form of flooding.
- 7.7 The application of the sequential test for planning applications is also addressed at a local level within Policy LP5 of the Local Plan which states:
- “A proposal will only be supported where all forms of flood risk, including breaches of flood defences or other defence failures, have been addressed, as detailed in the National Planning Practice Guidance and with reference to the Cambridgeshire Flood and Water Supplementary Planning Document (SPD), such that:*
- a. the sequential approach and sequential test are applied and passed, having regard to actual and residual flood risk and including consideration of the impact of climate change.”*
- 7.8 Policy A3 of the St Neots Neighbourhood Plan (2016) requires that:
- All development must be...guided by...the site and its surroundings including considerations of flood risk management.*

- 7.9 Apart from a small section of the site near the northern rear boundary, which is located in Flood Zone 1, the proposed development is located in Flood Zone 2 as classified by the Environment Agency Flood Map for Planning and the Huntingdonshire Strategic Flood Risk Assessment 2017.
- 7.10 Section 11 of the submitted planning statement (Flood Risk Assessment) states that “we dispute the fact the property will suffer from surface water flooding from the north and west as depicted on the [Environment Agency Flood Map for Planning] plans” as the site is in an area benefitting from flood risk defences and the proposed floor level is higher than street level of St. Neots Road. Furthermore, the submitted Sequential Test Report argues that although the site is in Flood Zone 2 and would represent a ‘more vulnerable use’, as the site is for a net increase of one dwelling, the proposed development is acceptable. Nevertheless, development in established Flood Zones 2 and 3 according to the Environment Agency Flood Map for Planning and the Huntingdonshire Strategic Flood Risk Assessment 2017 are subject to the sequential test and if necessary, the exceptions test regardless of being in an area benefitting from flood risk defences or that the land is technically above street level.
- 7.11 Section 4 of the Cambridgeshire Flood and Water SPD 2017 states that the geographical area over which the sequential test is to be applied is usually over the entire Local Planning Authority area and may only be reduced in discussion with the Local Planning Authority (LPA) because of the functional requirements and objectives of the proposed development (e.g. catchment area for a school, community facilities, a shop, a public house, appropriate land use areas and regeneration zones etc.) and because there is an identified local need for that type of development.
- 7.12 Over the course of the application, after being advised that the proposal would be recommended for refusal due to a lack of sequential test, a Sequential Test Report was supplied by the Agent. This report acknowledges that most of the site is in Flood Zone 2 and that a residential use would represent a ‘more vulnerable’ use as set out in Annex 3 of the National Planning Policy Framework. The Sequential Test included in this report considers only the sites within the Strategic Housing Land Availability Assessment (SHLAA), which is incorrect as the whole of the district must be considered as part of a sequential test, not only sites included in the SHLAA.
- 7.13 There have been no discussions between the applicant and the LPA in terms of an appropriate geographical search area for potential alternative sites at a lower risk of flooding taking into account the functional requirements and objectives of the proposed development. As set out in the Cambridgeshire Flood

and Water SPD the default search area is usually over the entire authority area. This would mean the applicant would need to demonstrate there are no alternative site across the whole district which could accommodate the proposed development of one dwelling by discounting all potential sites in Flood Zone 1, then (if there are no alternative sites in Flood Zone 1) Flood Zone 2, and then (if there are no alternative sites in Flood Zone 2) compare the sites within Flood Zone 3. In the circumstances of comparing sites within the same flood zone, the actual risks of flooding can be taken into consideration using available flood hazard information. The aim will be to locate development in the lowest risk areas of that flood zone considering the ambient probability and consequences of flooding.

- 7.14 Proposed site mitigation measures should not be taken into consideration when undertaking the Sequential Test - these are assessed through the Exception Test and the site-specific FRA.
- 7.15 The Cambridgeshire Flood and Water SPD states that reasonably available sites will be identified from a number of sources, including:
- Local Plan allocations;
 - Sites with planning permissions for the same or similar development, but not yet developed;
 - Five year Land Supply and/or Annual Monitoring Reports;
 - Housing and Economic Land Availability Assessments (HELAAAs);
 - Local property agents' listings;
 - Historic windfall rates, where appropriate.
- 7.16 Additionally, a site is only considered to be reasonably available if all of the following apply:
- The site is within the agreed area of search;
 - The site is not safeguarded in the relevant Local Plan for another use;
 - It does not have any issues (e.g. constraints or designations) that cannot be overcome and that would prevent development on the site.
- 7.17 Reasonably available sites will include a site or a combination of sites capable of accommodating the proposed development. These may be larger, similarly sized or a combination of smaller sites that fall within the agreed area of search.
- 7.18 It is considered that the sequential test for flooding would fail in this case taking into account Local Plan allocations for residential development, sites with planning permission for the same or similar development but not yet developed, and the consistency of windfall permissions for residential development in Flood Zone 1.

- 7.19 It is, however, recognised that the development represents a redevelopment opportunity in a highly sustainable location. Nevertheless, it does not follow that the sequential test is automatically passed on that basis. The submitted FRA or Sequential Report does not provide justification for the functional requirements and objectives of the proposed development which may trigger discussion and negotiation regarding the potential for an amended geographical search area for the sequential test. Ultimately, insufficient justification has been submitted in terms of the sequential test which Officers consider would fail based on a district-wide search. Therefore, the proposed development is considered unacceptable as it would place people and property and an unwarranted risk of flooding contrary to local and national planning policies. This is especially relevant given the proposal is for wheelchair-friendly housing and so would be occupied by a vulnerable person with limited ability to evacuate the dwelling in a flood event.
- 7.20 This application has similarities to application 20/01209/FUL for an extension to No.5 Crown Street in St. Ives to provide 1 no. 1 bed flat and 1 no. 2 bed flat with under croft parking. The application was refused by the Development Management Committee in line with officer recommendation following the meeting of April 2021. The refusal was appealed, and the Inspector dismissed the appeal (APP/H0520/W/21/3286072) on the grounds that the proposal did not represent an acceptable form of development having particular regard to its flood zone location.
- 7.21 Within their decision, the Inspector stated *“the FRA does not tackle the matter of initial site selection. Indeed, no comprehensive assessment of potential suitability and availability of alternative sequentially preferable sites (or of the appropriate catchment area across which to apply the test) would appear to have been carried out. This is a significant shortcoming of the scheme.”*
- 7.22 The Inspector also stated *“I acknowledge that an existing residential use of the appeal property prevails. However, the proposal is for an extension to accommodate two additional dwellings. On that basis, the sequential approach to site selection should be applied. Indeed, it has not been robustly demonstrated why it should not.”*
- 7.23 Finally, the Inspector reinforced that when applying the sequential test, the presence of existing flood risk management infrastructure should be ignored as the long-term funding, maintenance and renewal of this infrastructure is uncertain.
- 7.24 Paragraph 163 of the NPPF 2023 states that if it is not possible for development to be located in areas with a lower risk of

flooding (taking into account wider sustainable development objectives), the exception test may have to be applied.

7.25 There are two elements to the exception test as set out below, but this test should only be applied once the sequential test has been passed. This is reinforced within the abovementioned appeal decision where the Inspector stated, *“the sequential test is to be applied prior to any consideration of the exception test’s potential applicability.”*

7.26 Paragraph 164 of the NPPF 2023 states that to pass the exception test it should be demonstrated that:

- a) the development would provide wider sustainability benefits to the community that outweigh the flood risk; and
- b) the development will be safe for its lifetime taking account of the vulnerability of its users, without increasing flood risk elsewhere, and, where possible, will reduce flood risk overall.

7.27 No demonstration has been provided within the application to be considered to meet paragraph 164 Paragraph a of the NPPF. In regard to part b, the proposal fails to include any assessment of how evacuation of a wheelchair user would be carried out, but does include a number of mitigation measures:

1. Concrete ground floor slab.
2. Plasterboard dry lining to be fitted horizontally.
3. Electrical sockets and switches set at 450mm above floor level.
4. Floor level at 16.25m AOD (above nearest node point 0.1% AEP + CC).
5. Internal finishes to be resilient and hard wearing.
6. All hard landscaping areas to be free draining (where possible) and with door drains to all level access doors.
7. Rainwater from the roofs to be harvested first then use soakaways to avoid any additional impact on the street or locality.
8. Driveway to be free draining resin gravel or bound loose gravel.

In addition, we will review the detailing and construction post planning to ensure the construction overall is as resilient to flooding.

7.28 While these mitigation measures are welcomed, they would not outweigh the in-principle objection of one market dwelling in Flood Zone 2 and failure to pass the required sequential test.

7.29 No objections have been received from the Environment Agency (EA) in relation to this proposal. However, it should be noted that any EA consultation response does not consider whether the sequential test has been passed.

7.30 Overall, it is considered that the proposed development of one dwelling would fail the sequential test for flooding contrary to Policy LP5 of the Local Plan, Section 4 of the Cambridgeshire Flood and Water SPD 2017, Paragraphs 159 and 162 of the NPPF 2023 and Policy A3 of the St Neots Neighbourhood Plan (2016). The proposed development is therefore unacceptable in principle as it would place people and property at an unwarranted risk of flooding. The principle of the proposed development is therefore unacceptable.

Accessibility:

7.31 The proposal is for a wheelchair-friendly bungalow.

7.32 The Equality Act 2010 provides protection from discrimination in respect of certain protected characteristics, namely: age, disability, gender reassignment, pregnancy and maternity, race, religion or beliefs and sex and sexual orientation. It places the Council under a legal duty to have due regard to the advancement of equality in the exercise of its powers including planning powers.

7.33 Officers have had due regard to the provisions of the equality act in the assessment of this application. Whilst Officers are supportive of the provision of a wheelchair friendly bungalow, it is imperative that any vulnerable occupiers and users of the site are protected. Therefore, full consideration is given to all material planning considerations as discussed throughout this report.

7.34 When Officers assess a wheelchair friendly bungalow, the relevant criteria is held within Building Regulations M4(3). No explanation or demonstration has been provided within the planning statements that the proposal would be built to M4(3) standards. Advice has been sought from the Council's Building Control Team who has raised concern that the proposal fails to demonstrate both existing and proposed ground and finished floor levels and so an assessment regarding required ramps and accessibility is achieved for wheelchair users is not able to be carried out. Therefore, it is considered that while Officers are supportive of the provision of a disabled-friendly single-storey dwelling, Members should be aware that insufficient detail has been provided by the applicant in respect of compliance with building regulations M4(3) given Officers must ensure that the proposal is suitable for future users as well as the applicant.

7.35 Reference to the proposal being wheelchair compliant is made within paragraph 5.2 and paragraph 5.7 of the Planning statement by Gamplan Associates. Paragraph 5.2 states:

'The need to make the property wheelchair-friendly throughout has certainly implications regarding room sizes and proportions, but the proposed bungalow still reads as entirely appropriate for the site in its design, detailing and overall external appearance.'

7.36 Additionally, paragraph 5.7 notes that:

'With regard to Part M of the Building Regulations and 'The Principles of Inclusive Design', at the beginning of the design process it is important to analyse the transport patterns to and within a development. Roads, parking, walkways, building entrances and other routes should be considered. People's opportunity to use all elements within the site, including the inside of buildings, is crucial. With this in mind, the driveway / parking spaces and associated hard standings would provide suitable disabled parking and access to and from the proposed property; arrangements that would enable everyone to get to and move through the site on equal terms regardless of age, disability, ethnicity or social grouping.'

7.37 Based on the above extracts from the planning statements and the lack of floor levels, it considered by the Case Officer that the application fails to fully demonstrate compliance with Building Regulations part M4(3). Furthermore, it is considered that the siting of the dwelling in Flood Zone 2 where ability to safely exit the site in a flood event is paramount.

7.38 As outlined above, Officers have had due regard to The Equality Act 2010. However, the application fails to provide sufficient information on whether the proposal would comply with Building Regulations M4(3) standards and fails to acknowledge that this type of development would be more vulnerable to flood risk.

7.39 Therefore, for the assessment of this application it has had to be assumed that the proposal is for one general open market housing unit comprising of one two-bedroom single storey dwelling.

7.40 Overall, it is considered that as the proposal is in Flood Zone 2 and has not passed the sequential test, the proposal is unacceptable in principle as it has not been demonstrated that the development would place people and property at an unwarranted risk of flooding and therefore would be contrary to Policy LP5 of the Local Plan, Section 4 of the Cambridgeshire Flood and Water SPD 2017, Paragraphs 159 and 162 of the NPPF 2023 and Policy A3 of the St Neots Neighbourhood Plan (2016). Furthermore, it is considered by officers that the submitted application does not sufficiently demonstrate that the proposal is fully compliant with Building Regulations part M4(3), which sets out criteria for wheelchair user dwellings, nor has any information been supplied to the Local Planning Authority to justify the requirement for a wheelchair-friendly bungalow which

would outweigh its location within an established Flood Zone, taking into account The Equality Act 2010.

Design, Visual Amenity, and the Impact on the Character and Appearance of the Area and Designated Heritage Assets

- 7.41 The site lies within the St. Neots Conservation Area and is located approximately 80 metres east from The White House, which is a Grade II listed building.
- 7.42 Sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires the decision maker to have 'special regard' to the desirability of preserving a Listed Building or its setting and to pay 'special attention' to the desirability of preserving or enhancing the character or appearance of a Conservation Area.
- 7.43 Great weight and importance is given to the conservation of heritage assets and their settings. The statutory presumption of the avoidance of harm can only be outweighed if there are public benefits that are powerful enough to do so.
- 7.44 Policy LP34 of the Local Plan states, "*where a proposal is for conversion, alteration, other works to a heritage asset or within its setting it must be demonstrated that the proposal:*

f. protects the significance of designated heritage assets and their settings by protecting and enhancing architectural and historic character, historical associations, landscape and townscape features and through consideration of scale, design, materials, siting, layout, mass, use, and views both from and towards the asset;

g. does not harm or detract from the significance of the heritage asset, its setting and any special features that contribute to its special architectural or historic interest and the proposal conserves and enhances its special character and qualities;

h. respects the historic form, fabric and special interest that contributes to the significance of the affected heritage asset;

i. will conserve or enhance the quality, distinctiveness and character of the affected heritage asset; and

j. contributes to securing the long-term maintenance and management of the heritage asset.

The Council will consider the significance of a designated heritage asset and where there is less than substantial harm, this will be weighed against the public benefits of the proposal. Where there is deemed to be substantial harm, then the proposal

would need to achieve substantial public benefits to outweigh that harm.”

- 7.45 Policy LP 11 of the Local Plan states that a proposal will be supported where it is demonstrated that it responds positively to its context and has drawn inspiration from the key characteristics of its surroundings, including natural, historic and built environment, to help create distinctive, high quality and well-designed places, playing regard to the Huntingdon Design Guide (2017).
- 7.46 Furthermore, Policy LP 12 of the Local Plan states that new development will be expected to be well designed based upon a thorough understanding of constraints and appraisal of the site's context, delivering attractive, usable and long lasting buildings and spaces, listing criteria relating to response to context, ease of getting around, well designed public spaces and sustainable design and construction methods.
- 7.47 Additionally Policy A3 of the St Neots Neighbourhood Plan requires that:

All development must be designed to a high quality that reinforces local distinctiveness. Design should be guided by the overall scale, density, massing, height, landscape, layout, materials, detailing, roof orientation, relationship to back of pavement, wall to window ratios, proportion of windows, plan depth, plot width and access, the site and its surroundings including considerations of flood risk management. Careful consideration should be given to the servicing requirements of buildings to ensure that essential items such as car parking and space for the storage of waste and recycling bins are successfully integrated into the design, including access for service and emergency vehicles.

Impact on Heritage Assets

- 7.48 The site lies within the St Neots Conservation Area to the rear 49 St Neots Road, the end dwelling of a Victorian period row of terraced houses.
- 7.49 The application has been reviewed by the council's Conservation Officer who objects to the proposals on the basis that the triangular shape of the plot is a relic of historic landscape where a trackway serviced the open fields located between the Great North Road and St Neots Road. This is enshrined in the existing right of way along the southern boundary of the plot and explains the gap between the Victorian terraces and the historic green space behind the building lines.
- 7.50 It is noted that HDC Conservation Officers advised within a pre-application enquiry for a dwelling on the site in 2018 that

development would not be supported at this location as outlined in section 1.7 of this report.

- 7.51 Recent development on Davey Mews (to the rear of the site) compromises longer range views through the building line and has partly infilled the historic open green space of former gardens to the rear of the terraces. Removal of a protected tree and clearance of garden planting associated with No.49 has further destroyed the quality of space to the rear of the terrace and removed planting that softened the visual impact of the new development. Longer views towards the gardens to the rear of Orchard Road are available through the north of the plot.
- 7.52 The principal impacts of the proposal will be the further loss of green space, an obvious contrast to historic back of pavement development, loss of views through the site and closing off the historic right of way between the terraces. A large part of the plot visible from St Neots Road would be driveway and development rather than planting which will underline the loss of garden space. The proposal is likely to be an overdevelopment of the plot further compromising green space and failing to respect existing views, street patterns and historic building lines.
- 7.53 The harm to the conservation area would be less than substantial; NPPF paragraph 202 applies.
- 7.54 Section 72 of the Planning (Listed Buildings and Conservation Areas) 1990 Act directs that special attention shall be paid to the desirability of preserving the character or appearance of a conservation area. The proposal would fail to preserve the character and appearance of the St Neots Conservation Area.
- 7.55 These sections are reflected in NPPF paragraph 199 which directs that great weight should be given to conservation of heritage assets irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance. In this case the harm of the development would be less than substantial and therefore NPPF paragraph 202 applies.
- 7.56 The proposal would also fail to accord with Huntingdonshire Local Plan Policy LP34 as it would fail to respect existing views, street patterns and historic building lines.

Design and Visual Amenity

- 7.57 The application relates to land to the rear of No. 49 St Neots Road, Eaton Ford and is accessed between Nos. 47A and 49 Eaton Ford. The site forms garden land and previously contained a mature Willow Tree that was removed under application 18/00165/TRCA.

- 7.58 The site was subject to a preapplication submission in 2018 as part of 18/70147/PENQ which sought the erection of a single storey 2-bed bungalow. The bungalow was sited centrally on the site, providing separation from adjacent neighbouring rear gardens with soft landscaping shown to wrap around the southern, western and northern site boundaries. An existing right of way access was retained along the southern edge of the site (north of No. 47A St Neots Road) providing access to the rear of No. 1 Davey Mews.
- 7.59 The submitted application is for the erection of a single storey bungalow, comprising two wings of accommodation (living accommodation and an integral double garage located within the western wing and two bedrooms located in the eastern wing). The design has the appearance of a contemporary outbuilding with mono-pitched roofs and a mixture of timber framing, vertical timber cladding to gable elevations, slate cladding to front and rear elevations, internal elevations and the roof. Whilst the contemporary appearance is supported, there is concern the footprint of the bungalow has led to a cramped form of overdevelopment for this back land development site.
- 7.60 The private garden would be limited to the narrow linear space between the dwelling and western site boundary. This space measures just 2m-4m in depth and is likely to lead to increased pressure to prune or remove existing hedge planting which would expose views of the approximately 19m long and 4.623m-high western elevation resulting to overbearing impact to the rear gardens of Nos. 1 and 2 Davey Mews.
- 7.61 The southern gable of the eastern and western 'wings' are located approximately 0.3m and 0.65m from the rear garden boundaries of No. 47A and 49 St Neots Road to the south. There is concern the proposed 4623mm and 4305mm height of the side gables is likely to lead to a high degree of enclosure and overbearing impacts to these neighbouring gardens.
- 7.62 The submitted site plan and ground floor plans show existing landscaping to west and north of the proposed bungalow that will be retained – An Arboricultural Impact Assessment and tree survey is required to confirm the Root protection areas and necessary setback of development from existing landscaping.
- 7.63 The application does not include the right of way access that was included as part of the previous pre-application submission – it is unclear if this is still required.
- 7.64 It is therefore considered that the proposal large footprint and siting of the dwelling creates a cramped form of development which will lead to overbearing impacts to the rear gardens of Nos. 1 and 2 Davey Mews and Nos 47A and 49 St Neots Road contrary to Local Plan Policy LP14 part B Amenity. By virtue of

this cramped form of development that has failed to be designed in a way that does not detrimentally impact neighbour amenity, it is considered that the proposal fails to demonstrate that it responds positively to its context and has drawn inspiration from the key characteristics of its surroundings to help create distinctive, high quality and well designed places that successfully integrate with adjoining buildings, contrary to Local Plan Policies LP11 and LP 12 of the Local Plan..

- 7.65 The proposal is therefore contrary to Policies LP11, LP12 and LP34 of the Local Plan and the proposal is unacceptable against the objectives of the NPPF 2023 set out at paragraphs 130 parts a-d, 200 and 202 and Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

Residential Amenity

- 7.66 Policy LP14 of the Local Plan states that a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings.
- 7.67 Paragraph 130 part F of the NPPF 2023 states that planning policies and decisions should ensure that developments: create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users.
- 7.68 It is noted that third party objections relate to residential amenity, both to adjoining neighbours at 1 and 2 Davey Mews to the rear in terms of loss of light and overbearing impacts and also for the ability for future disabled users of the development in terms of access for wheelchair users.
- 7.69 The site is situated on the rear adjoining land of Nos. 47 and 49a St. Neots Road and is abutted on its western side by Nos. 1 and 2 Davey Mews. Open land comprises its northern and eastern boundary.
- 7.70 Given the single storey nature of the dwelling, it is not anticipated that any significant overlooking issues would result from the development.
- 7.71 Considering the layout and proximity to neighbouring dwellings, it is considered that the main issues in terms of the amenity standards of neighbours are considered to be whether the proposed development would give rise to significant levels of overbearing, overshadowing impacts, noise disturbance, obtrusive light and odour, and whether such impacts could be satisfactorily mitigated.

- 7.72 As set out in the Design section above, the 2-4 metre separation from the proposed dwelling and the shared western boundary would likely result in pruning of the proposed screening hedging and there is concern that this would expose the western side elevation of the dwelling (approximately 19 metres in length) and would result in unacceptable overbearing issues for Nos. 1 and 2 Davey Mews. There are also significant concerns that the proposal would cause unacceptable overbearing issues for Nos 47a and 48 St Neots Road to the south as the dwelling would be approximately 0.3m and 0.65 metres from their respective shared boundaries, with the 4623mm and 4305mm height of the side gables likely to lead to a high degree of enclosure and overbearing impacts to these neighbouring gardens.
- 7.73 Given the proposal is for a two-bedroomed single storey dwelling in an urbanised area, it is not anticipated that the proposal would cause additional noise, light or odour impacts that would be so severe as to warrant a refusal of the application on these elements in themselves.
- 7.74 The proposed dwelling is in accordance with national space standards and so it is considered that future occupiers of the site would have an acceptable standard of amenity in this respect.
- 7.75 The Council's Environmental Health team have not raised any significant concerns regarding the impact of adjacent uses on the proposed development. However, given the proximity of residential uses to the site, it is recommended to append conditions to include a restriction on construction working hours and avoidance of burning waste on site.
- 7.76 Overall, it is considered that due to the dwelling being in close proximity to surrounding existing residential uses, the proposed development would have a significant adverse impact on the amenity standards of Nos 1 and 2 Davey Mews to the rear of the dwelling and Nos. 47a and 48 St Neots Road due to overbearing impacts. The proposal is therefore contrary to Policy LP14 of the Local Plan and paragraph 130 part F of the NPPF 2023.

Highway Safety, Access, and Parking Provision

- 7.77 Policy LP17 of the Local Plan to 2036 seeks to ensure that new development incorporates appropriate space for vehicle movements, facilitates access for emergency vehicles and service vehicles and incorporates adequate parking for vehicles and cycles. Paragraph 111 of the NPPF (2021) states that development should only be prevented or refused on Highway Safety Grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

- 7.78 It is proposed that the development would utilise the existing vehicular access to the site off St Neots Road and two off-road parking spaces are shown on the plans to the south of the site, within an integrated within an attached open car port.
- 7.79 The Local Plan does not have a policy specifically identifying the number of parking spaces that should be provided for new dwellings and each site is considered separately. It is considered that the provision of two parking spaces for the development is sufficient in this instance.
- 7.80 Cambridgeshire County Council as the Local Highways Authority (LHA) has reviewed the proposals. The site is accessed from an existing vehicular access. The Design and Access Statement indicates that a turning area will be provided to enable vehicles to enter and exit in a forward gear. The LHA is satisfied that there is no significant adverse effect upon the Public Highway.
- 7.81 Policy LP17 of the Local Plan also states that *“a proposal that includes residential development will be expected to provide at least one clearly identified secure cycle space per bedroom for all dwellings (C3 Use Class), unless it can be demonstrated that this is unachievable.”*
- 7.82 The submitted Proposed Roof Plan (Drawing 2218 PL004-P01) shows the introduction of an area for the provision of Nos.2 cycle parking spaces which are not indicated on elevational plans. Given these two cycle spaces correlate with the two-bedroomed composition of the dwelling, it is considered that this provision is achievable on site and should be secured by condition should the proposal be approved by members.
- 7.83 Overall, subject to conditions, the proposed development is considered acceptable in terms of highway safety, car parking and vehicular manoeuvrability and therefore accords with Local Plan Policies LP16 and LP17 of the Local Plan

Biodiversity

- 7.84 Paragraph 174 of the NPPF states planning policies and decisions should contribute to and enhance the natural and local environment. Policy LP30 of the Local Plan states that development proposals should demonstrate that all potential adverse impacts on biodiversity have been investigated. Any proposal that is likely to have an impact, directly or indirectly on biodiversity will need to be accompanied by an appropriate appraisal, such as a Preliminary Ecological Appraisal (PEA) LP30 also states that all proposals must also demonstrate a net gain in biodiversity where possible.
- 7.85 The third-party response from a neighbour raising concern that the development would cause detrimental impact to biodiversity

on site, noting that hedging and trees should remain as provide habitat for wildlife are noted.

- 7.86 No PEA has been submitted with the application, but Section 8 of the submitted Planning statement notes that bats, birds and bees are common to the area. It is acknowledged that the site currently is comprised mainly of residential garden land in an urban area with limited biodiversity. The Planning Statement at Section 8 proposes bat boxes, bird feeders, bird (swift) boxes and bee bricks. However, in this case, given the nature of the site and its surroundings relating to a side garden in an established residential area, it is considered that the site provides little value in terms of biodiversity, and it is considered that conditions could be set to secure biodiversity gain.
- 7.87 Subject to condition, it is considered that the proposed development would not have an adverse impact on protected species and would ensure there is no net loss in biodiversity in accordance with Policy LP30 of the Local Plan and the NPPF 2023 in this regard.

Trees

- 7.88 Policy LP31 of the Huntingdonshire Local Plan to 2036 requires proposals to demonstrate that the potential for adverse impacts on trees, woodland, hedges and hedgerows has been investigated and that a proposal will only be supported where it seeks to conserve and enhance any existing tree, woodland, hedge or hedgerow of value that would be affected by the proposed development.
- 7.89 It is noted that there are trees to the rear of the site which are legally protected due to their location within the designated Conservation Area of St. Neots which may be impacted by the proposed dwelling. However, no Arboricultural Impact Assessment, Tree Protection Plan or any sufficient consideration of impact of the proposal on trees have been submitted as part of the application. This has led to the Council's Trees officer to recommend refusal of the application on the basis of insufficient information.
- 7.90 Therefore, as the proposed dwelling is located in close proximity legally protected trees, it is considered that the proposal has not demonstrated to the satisfaction of the Local Planning Authority that the proposal would not cause harm to trees of value contrary to Policy LP31 of the Local Plan (2019) which requires that proposals demonstrate that the potential for adverse impact on trees be investigated, assessed, and mitigated with any loss of trees justified.

Accessible and Adaptable Homes

- 7.91 As has been set out above in paragraphs 7.31 - 7.39 (Accessibility), this proposal has been assessed as a general open market housing unit rather than being built to M4(3) standards. Under Policy LP25 of the Local Plan proposals are required to include housing to meet the optional Building Regulation requirement M4(2) "Accessible and adaptable dwellings" unless it can be demonstrated that site specific factors make this unachievable.
- 7.92 A condition can be imposed upon any consent to ensure that the development is built in accordance with these M4(2) standards and that they are maintained for the life of the development.

Water Efficiency

- 7.93 Policy LP12 of the Local Plan requires proposals that include housing to comply with the optional building regulation for water efficiency, as set out in Approved Document G.
- 7.94 The Planning Statement at Section 10 notes that the proposal will be water efficient as possible but does not explicitly state compliance with Approved Document G as set out in Policy LP12 of the Local Plan.
- 7.95 Nevertheless, a condition can be imposed upon any consent to ensure that the development is built in accordance with these standards and that they are maintained for the life of the development.

Developer Contributions

- 7.96 The application is not accompanied by a Unilateral Undertaking (UU) for the provision of wheeled bins meaning the needs of future residents would not be met with regard to household waste management contrary to part H of the Developer Contributions Supplementary Planning Document (2011) and Policy LP4 of the Local Plan.

Other Matters

- 7.97 A number of representations have been addressed within earlier sections of this report. However, those representations which have not been addressed elsewhere within this report are addressed within this section.
- 7.98 Third party representations have been received raising objections to the loss of views from existing residential properties on Davey Mews. However, loss of views are not material

planning considerations and therefore cannot be considered as part of the determination of this planning application.

- 7.99 Representations have also been received raising which raise issues with relating to access and ability to use the right of way for neighbours on Davey Mews. Access to and usage of private rights of way are a civil issue and not a material planning consideration which this application can be assessed against.

Conclusion and Planning Balance

- 7.100 Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise. Members are also reminded that as per paragraphs 7.32-7.39 of this report, case officers are of the view that as no specific circumstances have been provided to support the proposal for a wheelchair user and that the submitted information does not sufficiently demonstrate that the proposed dwelling is for a specific wheelchair dwelling, the proposal is to be regarded as general open market new dwelling in this case and should be determined as such.
- 7.101 In assessing applications, it is necessary to first consider whether the proposal accords with the Development Plan as a whole, notwithstanding non-compliance that may occur with individual policies, and having regard to the reasoning for those policies together with others in the Local Plan.
- 7.102 It is recognised that the development would provide an additional housing unit within the district and contribute to the economy both in the short and long term through job creation during construction and increased spending on local services and facilities through additional population in the town centre. However, these benefits are considered relatively modest in the relation to the scale of the proposal and would not outweigh the harm which would result from the proposed development.
- 7.103 In this case, it is considered that the proposed development would fail the sequential test for flooding, would cause unjustified harm to the significance of the St. Neots Conservation Area and would have an unacceptable adverse impact on the residential amenity of Nos. 1 and 2 Davey Mews and Nos. 47 and 49a St Neots Road. It is therefore considered that the proposal does not accord with either the Development Plan or the St. Neots Neighbourhood Plan. Subject to conditions, the development is considered acceptable in relation to biodiversity, access and highway safety although these are matters expected to be addressed, mitigated and complied with as part of the development of this type and are matters which have neutral weight in the planning balance.

7.104 Overall, it is considered that the proposed development would conflict with the Development Plan, and material considerations do not indicate that planning permission should be granted. Therefore, the application is recommended for refusal for the following reasons:

8. RECOMMENDATION – Refuse for the following reasons:

1. It is considered that the proposed development of one dwelling would fail the sequential test for flooding contrary to Policy LP5 of the Huntingdonshire's Local Plan to 2036 (2019), Section 4 of the Cambridgeshire Flood and Water SPD 2017, Paragraphs 159 and 162 of the NPPF 2023 and Policy A3 of the St Neots Neighbourhood Plan to 2029 (2016). The proposed development is therefore unacceptable in principle as it would place people and property at an unwarranted risk of flooding. The principle of the proposed development is therefore unacceptable.
2. The erection of a dwelling within this small site within the St. Neots Conservation Area would infill a historic landscape and would be an obvious contrast to historic back of pavement development, and would result in loss of views through the site and closing off the historic right of way between the terraces. The proposal would represent overdevelopment of the plot further compromising green space and failing to respect existing views, street patterns and historic building lines. The proposal is thereby contrary to Policies LP34 of Huntingdonshire's Local Plan to 2036 (2019), Policy A3 of the St Neots Neighbourhood Plan to 2029 (2016), the objectives of the NPPF 2023 set out at paragraphs 130 parts a-d, 200 and 202 and Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990.
3. The large footprint and siting of the dwelling creates a cramped form of development which will lead to overbearing impacts to the rear gardens of Nos. 1 and 2 Davey Mews and Nos 47A and 49 St Neots Road contrary to Local Plan Policy LP14 part B Amenity. By virtue of this cramped form of development, it is considered that the proposal would have a significant adverse impact on the amenity standards of Nos 1 and 2 Davey Mews to the rear of the dwelling and Nos. 47a and 48 St Neots Road due to overbearing impacts and so has failed to be designed in a way that does not detrimentally impact neighbour amenity. Overall, it is considered that the proposal fails to demonstrate that it responds positively to its context and has drawn inspiration from the key characteristics of its surroundings to help create distinctive, high quality and well-designed places that successfully integrate with adjoining buildings, contrary to Local Plan Policies LP11, LP12 and LP14 of Huntingdonshire's Local Plan to 2036 (2019) and paragraph 130 part F of the NPPF 2023..

4. The proposed dwelling would be located in close proximity to a tree within the site which is legally protected by virtue of its siting within St. Neots Conservation Area. It has not been demonstrated to the satisfaction of the Local Planning Authority that the proposal would not cause harm to trees of value, or that the development would not result in future pressure to fell trees, if not part of the development, in the future by the occupiers of the development due to shading or fear of damage contrary to Policy LP31 of Huntingdonshire's Local Plan to 2036 (2019) which requires that proposals demonstrate that the potential for adverse impact on trees be investigated, assessed, and mitigated with any loss of trees justified.

5. The application has failed to incorporate adequate provision for refuse (wheeled bins) by virtue of the omission of a completed unilateral undertaking contrary to the requirements of the Developer Contributions Supplementary Planning Document 2011, and Policy LP4 of Huntingdonshire's Local Plan to 2036 (2019).

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs.

CONTACT OFFICER: Marie Roseaman

Enquiries marie.roseaman@huntingdonshire.gov.uk

SCHEDULE OF PLANNING APPLICATIONS – 30 May 2023

| No. | Reference | Development | SNTC Decision | Notes |
|-----|----------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------|----------------------------------------------------------------------------------------------------------------------------|
| S1 | 23/00819/HHFUL | Mr Selley 11 Dukes Road Eaton Socon St Neots Proposed single storey extensions to the front and rear. | Approve | Minimum impact on neighbours. Improves Property. Satisfactory proposal in terms of scale and pattern of development. |
| S2 | 23/00745/FUL | D Coutts 49 St Neots Road Eaton Ford St Neots Erection of a bespoke designed wheelchair friendly bungalow and associated ancillary works | Approve | Makes efficient use of the site. Satisfactory proposal in terms of scale and pattern of development. |
| S3 | 23/00574/HHFUL | Mr Smith 27 Humberley Close Eynesbury St Neots Proposed single storey extension to existing rear garden outbuilding to form further habitable accommodation | Object | Layout and density of building. Scale of development. |
| S4 | 23/00774/FUL | AJB Home & Utilities Ltd 2 Queens Court Eaton Socon St Neots Erection of two x two-bedroom homes and associated works | Object | Layout and density of building. Road Access. |
| S5 | 23/00749/FUL | Luan Saraqi 2 Church Walk St Neots PE19 1JH The installation of an awning (retrospective) | Approve | Within a sustainable location. Will have no negative impact on the wider landscape character of the area. |
| S6 | 23/00221/LBC | Mrs Carly Cozens 26D Market Square St Neots PE19 2AG Replacement of 4 single glazed windows with UPVC A** rated double glazed windows | Approve DC abstained | Minimum impact on neighbours. |
| S7 | 23/00565/FUL | PANTHER (VAT) PROPERTIES LIMITED 53 - 57 High Street St Neots PE19 1JG Installation of new lobbied double entrance and rear fire door | Approve | Improves Property. Minimum impact on neighbours. |
| S8 | 23/00875/LBC | PANTHER (VAT) PROPERTIES LIMITED 53 - 57 High Street St Neots PE19 1JG Installation of new lobbied double entrance and rear fire door for safety purposes. | Approve | Improves Property. Minimum impact on neighbours. |
| S9 | 23/00727/OUT | Mr Joel Xavier 37 New Street St Neots PE19 1AJ Outline planning application with all matters reserved for: | Object | Over development. Layout and density of buildings. Scale of Development. |

Development Management Committee



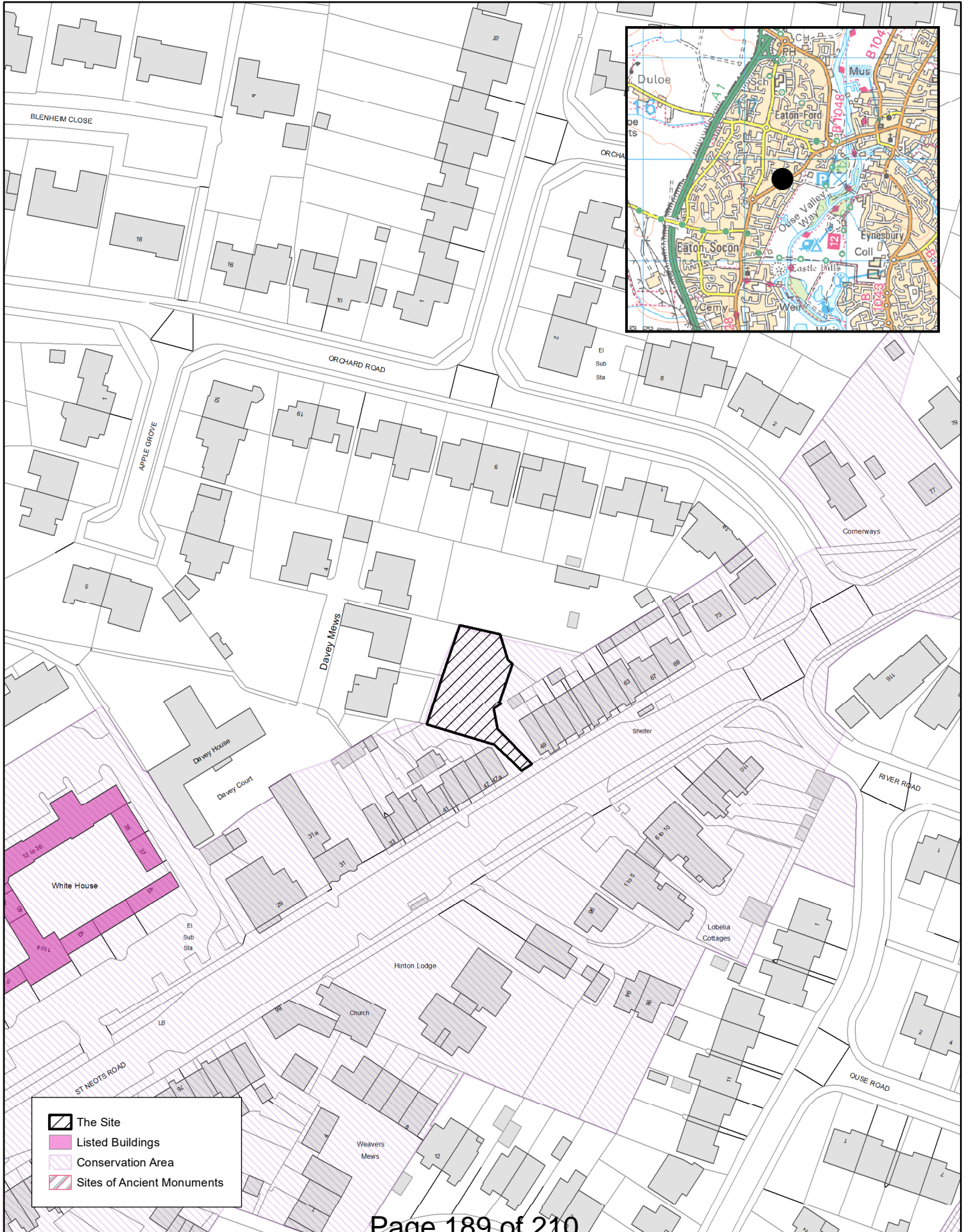
Scale = 1:1,250

Application Ref: 23/00745/FUL

Date Created: 02/11/2023

Location: St Neots

© Crown copyright and database rights 2023
Ordnance Survey HDC 100022322



NOTES

- 1 ALL DIMENSIONS AND LEVELS ARE TO BE DETERMINED AND OR CHECKED BY THE CONTRACTOR ON SITE. SHOULD ANY DISCREPANCY BE IDENTIFIED BETWEEN THE DIMENSIONS, AND OR DETAILS DETERMINED ON SITE, AND THOSE SHOWN ON THE RELEVANT DRAWINGS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND HIS INSTRUCTIONS OBTAINED PRIOR TO THE COMMENCEMENT OF THE WORK.
- 2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL TEMPORARY WORKS, AND THE SAFETY AND STABILITY OF THE NEW WORKS AND ADJACENT STRUCTURES DURING CONSTRUCTION.
- 3 WHERE A PRODUCT IS SPECIFIED TO BE OBTAINED FROM A MANUFACTURER OR SUPPLIER, THE CONTRACTOR SHALL INSTALL THE PRODUCT IN ACCORDANCE WITH THE INSTRUCTIONS SUPPLIED BY THE MANUFACTURER. SHOULD THERE BE ANY VARIATION BETWEEN THE WORK SPECIFIED ON THE DRAWINGS AND THE MANUFACTURER'S INSTRUCTIONS, THE CONTRACTOR SHALL REFER THE MATTER TO THE ARCHITECT FOR INSTRUCTION BEFORE PROCEEDING.

EXISTING STRUCTURE / BUILDING - SHADED GREY SOLID HATCH

| | | |
|-----|------------|--------------------------------------|
| P01 | 14.04.2023 | PLANNING ISSUE OF INFORMATION |
| A | 16.03.2023 | INITIAL ISSUE OF INFORMATION: Client |

Project: 2218 - New build bungalow

Client: Mr D Coutts

Location: 49 St Neots Rd, E Socon, St Neots, Cambridgeshire

Devlin Architects Ltd
159 High Street, Huntingdon, Cambridgeshire, PE29 3TF, UK.
Mobile: +44 7775 796 155
Email: info@devlinarchitects.com
www.devlinarchitects.com
Instagram: @devlinarchitects



Title: PLANNING Existing Location & Site Plan

Status: RIBA Stage 3 Scale: Varies @ A1

Drawn: DJS Checked: SD

Revision: P01 Date: 16.03.2023

2218 P L 0 0 1 - P 0 1



©Crown Copyright and database rights 2022 OS Licence no. 100041041

EXISTING LOCATION PLAN - 1:1000 @ A1 / 1:2000 @ A3



EXISTING SITE PLAN - 1:200 @ A1 / 1:400 @ A3

- NOTES
- 1 ALL DIMENSIONS AND LEVELS ARE TO BE DETERMINED AND OR CHECKED BY THE CONTRACTOR ON SITE. SHOULD ANY DISCREPANCY BE IDENTIFIED BETWEEN THE DIMENSIONS, AND OR DETAILS DETERMINED ON SITE, AND THOSE SHOWN ON THE RELEVANT DRAWINGS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND HIS INSTRUCTIONS OBTAINED PRIOR TO THE COMMENCEMENT OF THE WORK.
 - 2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL TEMPORARY WORKS, AND THE SAFETY AND STABILITY OF THE NEW WORKS AND ADJACENT STRUCTURES DURING CONSTRUCTION.
 - 3 WHERE A PRODUCT IS SPECIFIED TO BE OBTAINED FROM A MANUFACTURER OR SUPPLIER, THE CONTRACTOR SHALL INSTALL THE PRODUCT IN ACCORDANCE WITH THE INSTRUCTIONS SUPPLIED BY THE MANUFACTURER. SHOULD THERE BE ANY VARIATION BETWEEN THE WORK SPECIFIED ON THE DRAWINGS AND THE MANUFACTURER'S INSTRUCTIONS, THE CONTRACTOR SHALL REFER THE MATTER TO THE ARCHITECT FOR INSTRUCTION BEFORE PROCEEDING.

EXISTING STRUCTURE / BUILDING - SHADED GREY SOLID HATCH

| | | |
|-----|------------|--------------------------------------|
| P01 | 14.04.2023 | PLANNING ISSUE OF INFORMATION |
| A | 16.03.2023 | INITIAL ISSUE OF INFORMATION- Client |

REVISIONS

| | |
|-----------|---------------------------------------------------|
| Project: | 2218 - New build bungalow |
| Client: | Mr D Coultis |
| Location: | 49 St Neots Rd, E Socon, St Neots, Cambridgeshire |

| | | |
|-------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------|--|
| Devlin Architects Ltd Bridgefoot House, 159 High Street, Huntingdon, Cambridgeshire, PE29 3TF, UK. | Mobile: +44 7779 796 155 Email: info@devlinarchitects.com www.devlinarchitects.com Instagram: @devlinarchitects | |
|-------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------|--|

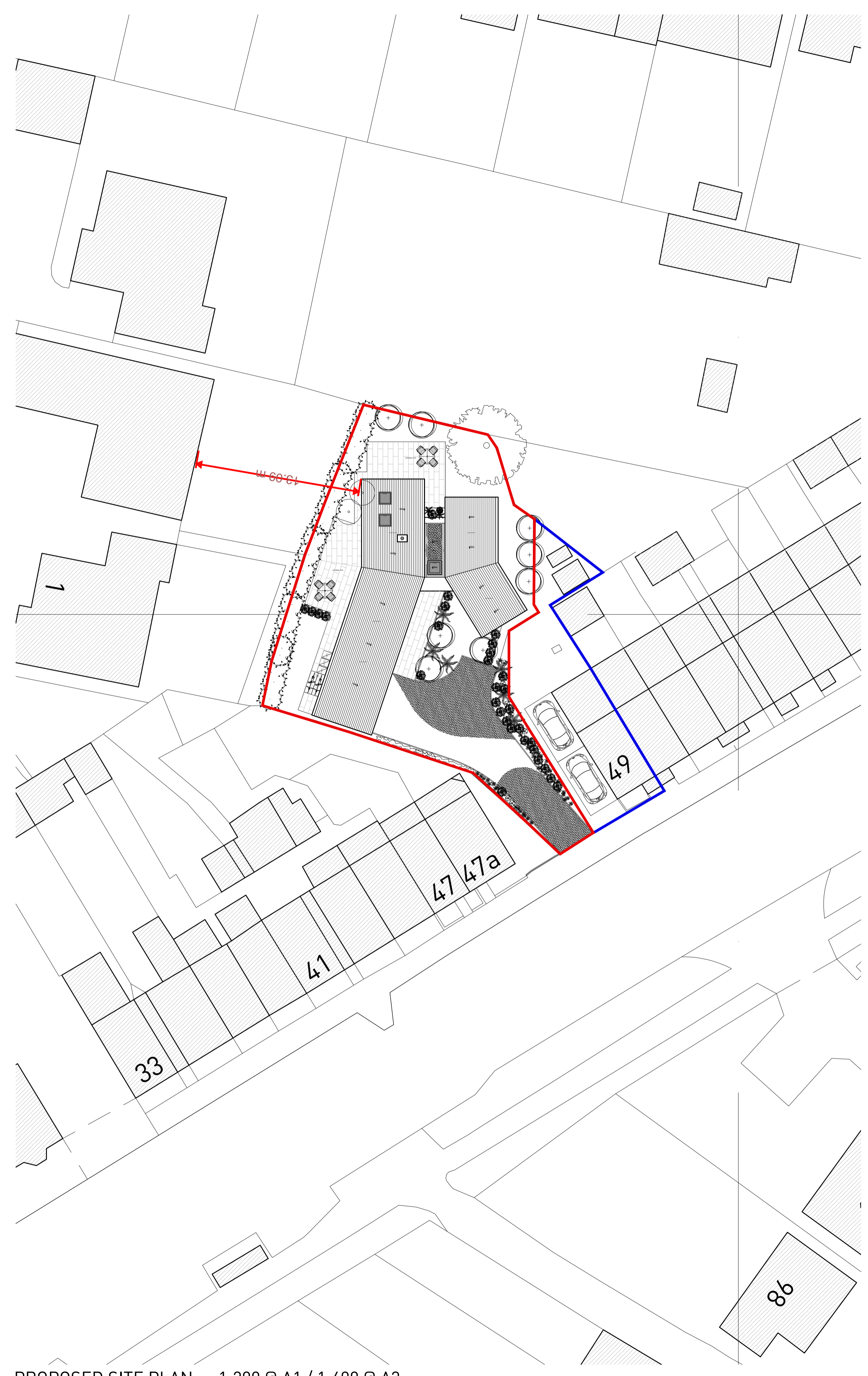
| | | |
|-----------|-------------------------------------------|--------------------|
| Title: | PLANNING Proposed Location & Site Plan | |
| Status: | RIBA Stage 3 | Scale: Varies @ A1 |
| Drawn: | DJS | Checked: SD |
| Revision: | P01 | Date: 16.03.2023 |

2218 P L 0 0 9 - P 0 1



©Crown Copyright and database rights 2022 OS Licence no. 100041041

PROPOSED LOCATION PLAN - 1:1000 @ A1 / 1:2000 @ A3



PROPOSED SITE PLAN - 1:200 @ A1 / 1:400 @ A3



- GENERAL NOTES:
- 1 ALL DIMENSIONS AND LEVELS ARE TO BE DETERMINED AND OR CHECKED BY THE CONTRACTOR ON SITE. SHOULD ANY DISCREPANCY BE IDENTIFIED BETWEEN THE DIMENSIONS, AND OR DETAILS DETERMINED ON SITE, AND THOSE SHOWN ON THE RELEVANT DRAWINGS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND HIS INSTRUCTIONS OBTAINED PRIOR TO THE COMMENCEMENT OF THE WORK.
 - 2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL TEMPORARY WORKS, AND THE SAFETY AND STABILITY OF THE NEW WORKS AND ADJACENT STRUCTURES DURING CONSTRUCTION.
 - 3 WHERE A PRODUCT IS SPECIFIED TO BE OBTAINED FROM A MANUFACTURER OR SUPPLIER, THE CONTRACTOR SHALL INSTALL THE PRODUCT IN ACCORDANCE WITH THE INSTRUCTIONS SUPPLIED BY THE MANUFACTURER. SHOULD THERE BE ANY VARIATION BETWEEN THE WORK SPECIFIED ON THE DRAWINGS AND THE MANUFACTURER'S INSTRUCTIONS, THE CONTRACTOR SHALL REFER THE MATTER TO THE ARCHITECT FOR INSTRUCTION BEFORE PROCEEDING.

| | | |
|-----------|------------|--------------------------------------|
| P01 | 14.04.2023 | PLANNING ISSUE OF INFORMATION |
| A | 16.03.2023 | INITIAL ISSUE OF INFORMATION: Client |
| REVISIONS | | |

| | |
|---------------------------------------------------------------------|-----------------------------------------------------------------------|
| Project: | 2218 - New Build |
| Client: | Mr D Coutts |
| Location: | 49 St Neots Road, E Socon, St Neots, Cambridgeshire |
| Devlin Architects Ltd | Mobile: +44 7775 796 155 |
| 159 High Street, Huntingdon, Cambridgeshire, PE29 3TF, UK. | Email / Web: info@devlinarchitects.com www.devlinarchitects.com |
| | Instagram: @devlinarchitects |

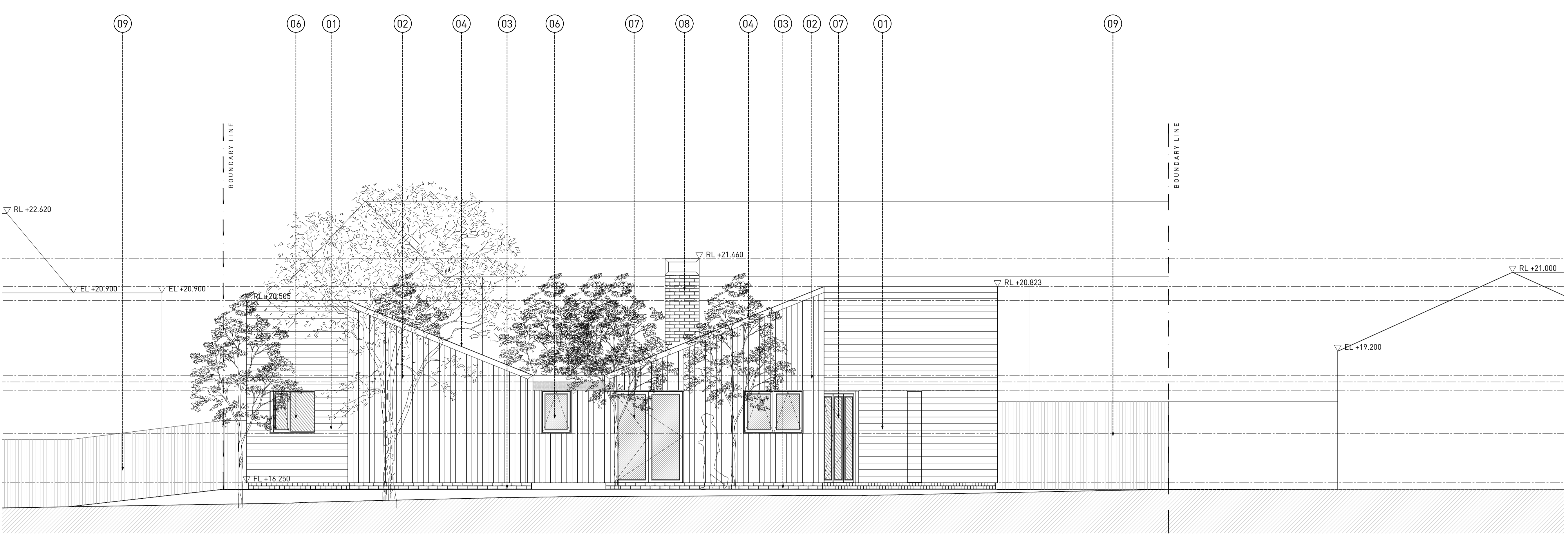
| | |
|-----------|------------------------------|
| Title: | PLANNING Proposed Grd Flr |
| Status: | RIBA Stage 3 |
| Scale: | 1:50 @ A1 |
| Drawn: | SD |
| Checked: | SD |
| Revision: | P01 |
| Date: | 16.03.2023 |

2218PL003 - P01

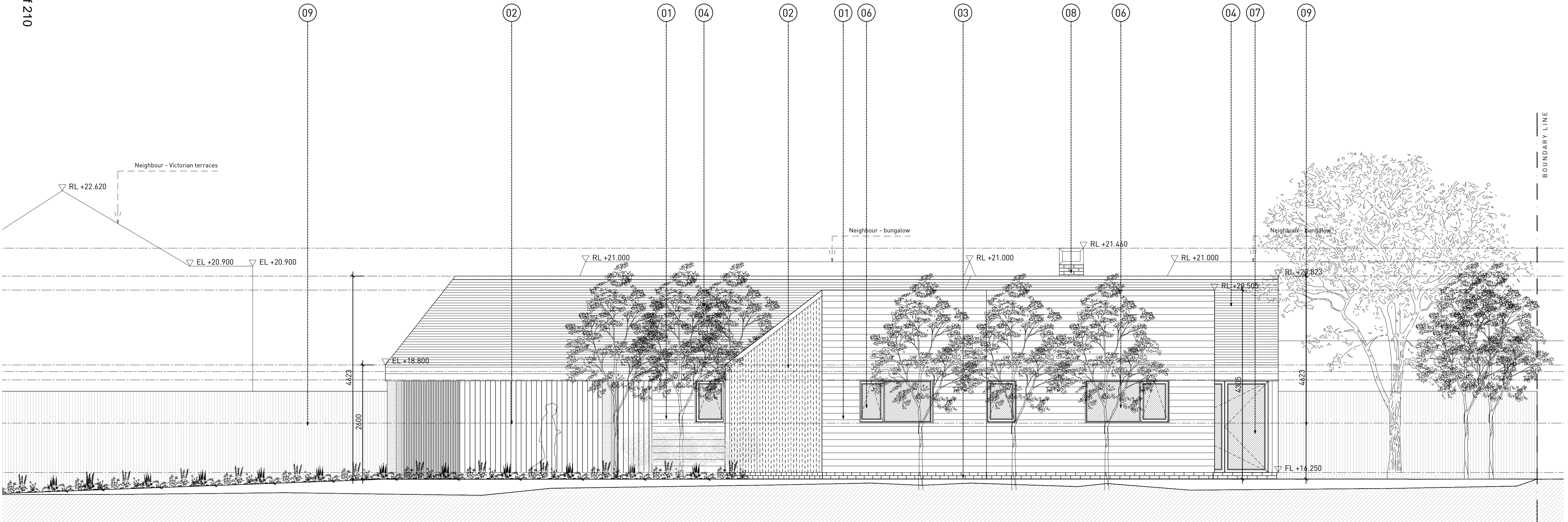
19

- NOTES
- ALL DIMENSIONS AND LEVELS ARE TO BE DETERMINED AND CHECKED BY THE CONTRACTOR ON SITE. SHOULD ANY DISCREPANCY BE IDENTIFIED BETWEEN THE DIMENSIONS, AND OR DETAILS DETERMINED ON SITE, AND THOSE SHOWN ON THE RELEVANT DRAWINGS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND HIS INSTRUCTIONS OBTAINED PRIOR TO THE COMMENCEMENT OF THE WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL TEMPORARY WORKS, AND THE SAFETY AND STABILITY OF THE NEW WORKS AND ADJACENT STRUCTURES DURING CONSTRUCTION.
 - WHERE A PRODUCT IS SPECIFIED TO BE OBTAINED FROM A MANUFACTURER OR SUPPLIER, THE CONTRACTOR SHALL INSTALL THE PRODUCT IN ACCORDANCE WITH THE INSTRUCTIONS SUPPLIED BY THE MANUFACTURER. SHOULD THERE BE ANY VARIATION BETWEEN THE WORK SPECIFIED ON THE DRAWINGS AND THE MANUFACTURER'S INSTRUCTIONS, THE CONTRACTOR SHALL REFER THE MATTER TO THE ARCHITECT FOR INSTRUCTION BEFORE PROCEEDING.

- EXISTING STRUCTURE / BUILDING - SHADED GREY SOLID HATCH
- NOTES
- SLATE EXTERNAL CLADDING TO EXTERNAL WALLS
 - VERTICAL TIMBER CLADDING TO EXTERNAL WALLS
 - EXPOSED BLUE ENGINEERING BRICKWORK BASES TO EXTERNAL WALLS
 - SLATE ROOFING
 - EXPOSED TIMBER FRAMING
 - PPC ALUMINIUM GREY WINDOWS WITH EXTERNAL TIMBER LININGS
 - PPC ALUMINIUM GREY EXTERNAL DOORS WITH EXTERNAL TIMBER LININGS
 - EXPOSED BLUE ENGINEERING BRICKWORK CHIMNEY STACK WITH FEATURE TOP
 - NEW TIMBER FENCING TO THE PERIMETER OF THE SITE



PROPOSED REAR ELEVATION (NORTH FACING)



PROPOSED SIDE ELEVATION (EAST FACING)

| | | |
|-----------|------------|-------------------------------|
| P01 | 14.04.2023 | PLANNING ISSUE OF INFORMATION |
| A | 16.03.2023 | ISSUE OF INFORMATION: Client |
| REVISIONS | | |

| | |
|-----------------------|-----------------------------------------------------|
| Project: | 2218 - New build bungalow |
| Client: | Mr D Coutts |
| Location: | St Neots, Cambridgeshire 49 St Neots Rd, E Socon |
| Devlin Architects Ltd | Mobile: +44 7775 796 155 |
| 159 High Street | Email: info@devlinarchitects.com |
| Huntingdon, | www.devlinarchitects.com |
| Cambridgeshire, | Instagram: @devlinarchitects |
| PE29 3TF, UK. | |
| | devlin architects |

| | | |
|-----------|--------------------------------------------|------------------|
| Title: | PLANNING Prop Elevations - North & East | |
| Status: | RIBA Stage 3 | Scale: 1:50 @ A1 |
| Drawn: | DJS | Checked: SD |
| Revision: | P01 | Date: 16.03.2023 |

2218PL005 - P01

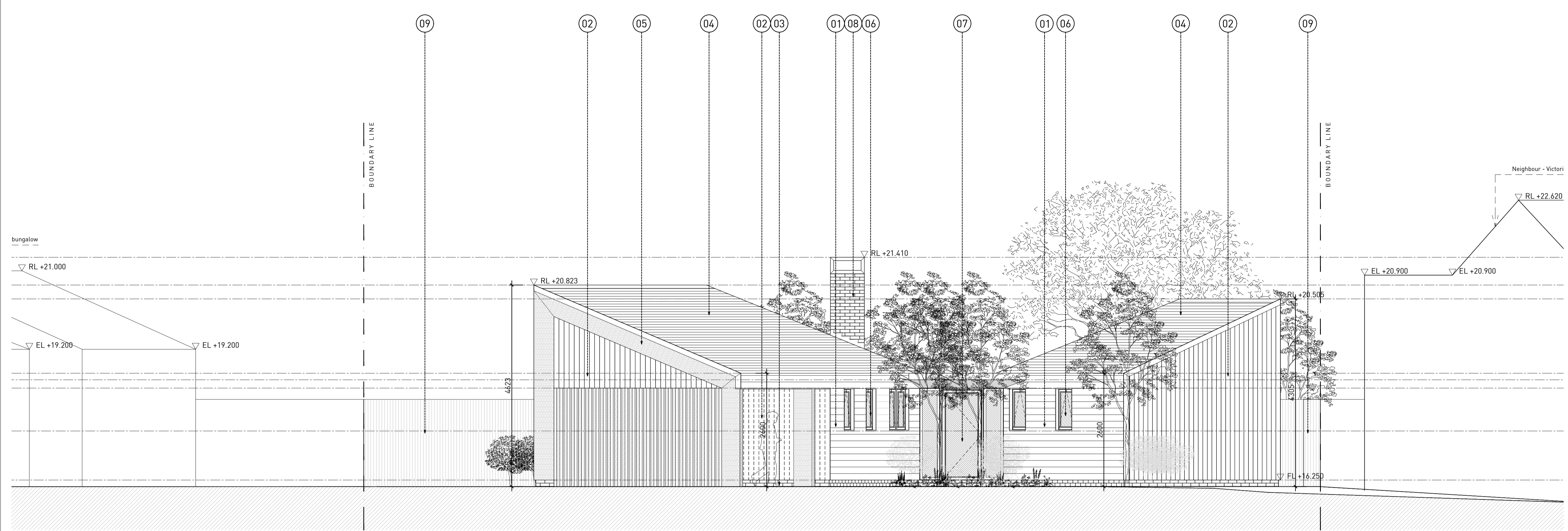
NOTES

- ALL DIMENSIONS AND LEVELS ARE TO BE DETERMINED AND CHECKED BY THE CONTRACTOR ON SITE. SHOULD ANY DISCREPANCY BE IDENTIFIED BETWEEN THE DIMENSIONS, AND OR DETAILS DETERMINED ON SITE, AND THOSE SHOWN ON THE RELEVANT DRAWINGS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND HIS INSTRUCTIONS OBTAINED PRIOR TO THE COMMENCEMENT OF THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL TEMPORARY WORKS, AND THE SAFETY AND STABILITY OF THE NEW WORKS AND ADJACENT STRUCTURES DURING CONSTRUCTION.
- WHERE A PRODUCT IS SPECIFIED TO BE OBTAINED FROM A MANUFACTURER OR SUPPLIER, THE CONTRACTOR SHALL INSTALL THE PRODUCT IN ACCORDANCE WITH THE INSTRUCTIONS SUPPLIED BY THE MANUFACTURER. SHOULD THERE BE ANY VARIATION BETWEEN THE WORK SPECIFIED ON THE DRAWINGS AND THE MANUFACTURER'S INSTRUCTIONS, THE CONTRACTOR SHALL REFER THE MATTER TO THE ARCHITECT FOR INSTRUCTION BEFORE PROCEEDING.

EXISTING STRUCTURE / BUILDING - SHADED GREY SOLID HATCH

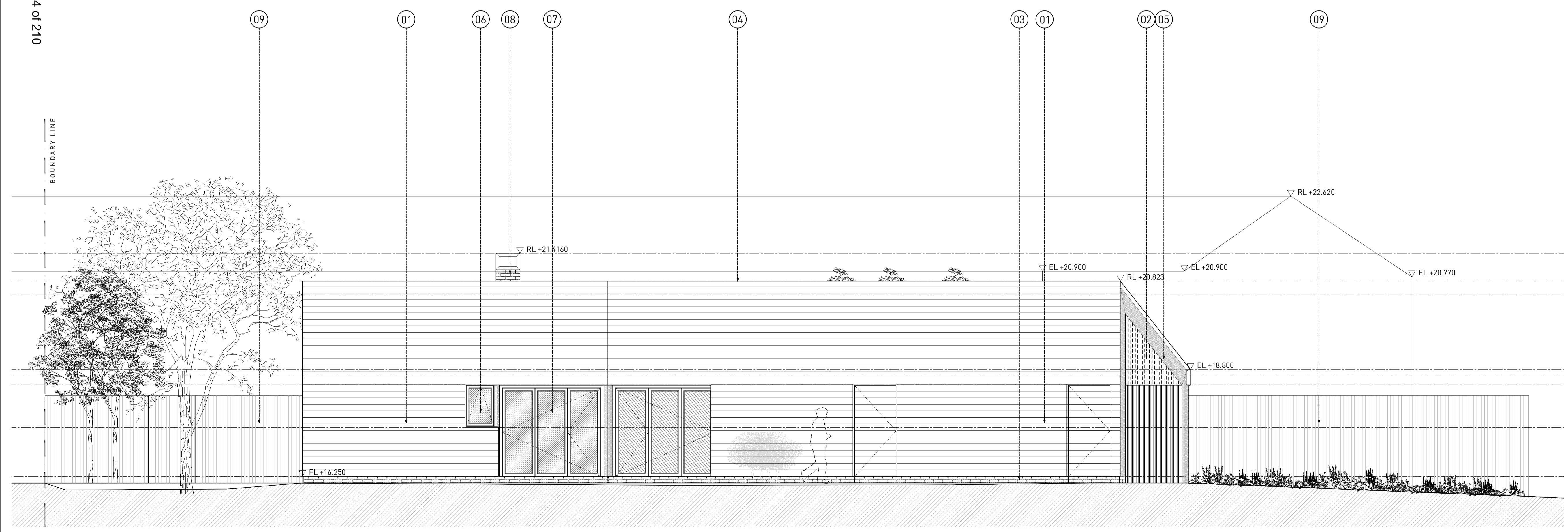
NOTES

- SLATE EXTERNAL CLADDING TO EXTERNAL WALLS
- VERTICAL TIMBER CLADDING TO EXTERNAL WALLS
- EXPOSED BLUE ENGINEERING BRICKWORK BASES TO EXTERNAL WALLS
- SLATE ROOFING
- EXPOSED TIMBER FRAMING
- PPC ALUMINIUM GREY WINDOWS WITH EXTERNAL TIMBER LININGS
- PPC ALUMINIUM GREY EXTERNAL DOORS WITH EXTERNAL TIMBER LININGS
- EXPOSED BLUE ENGINEERING BRICKWORK CHIMNEY STACK WITH FEATURE TOP
- NEW TIMBER FENCING TO THE PERIMETER OF THE SITE



PROPOSED FRONT ELEVATION (SOUTH FACING)

Page 194 of 210



PROPOSED SIDE ELEVATION (WEST FACING)

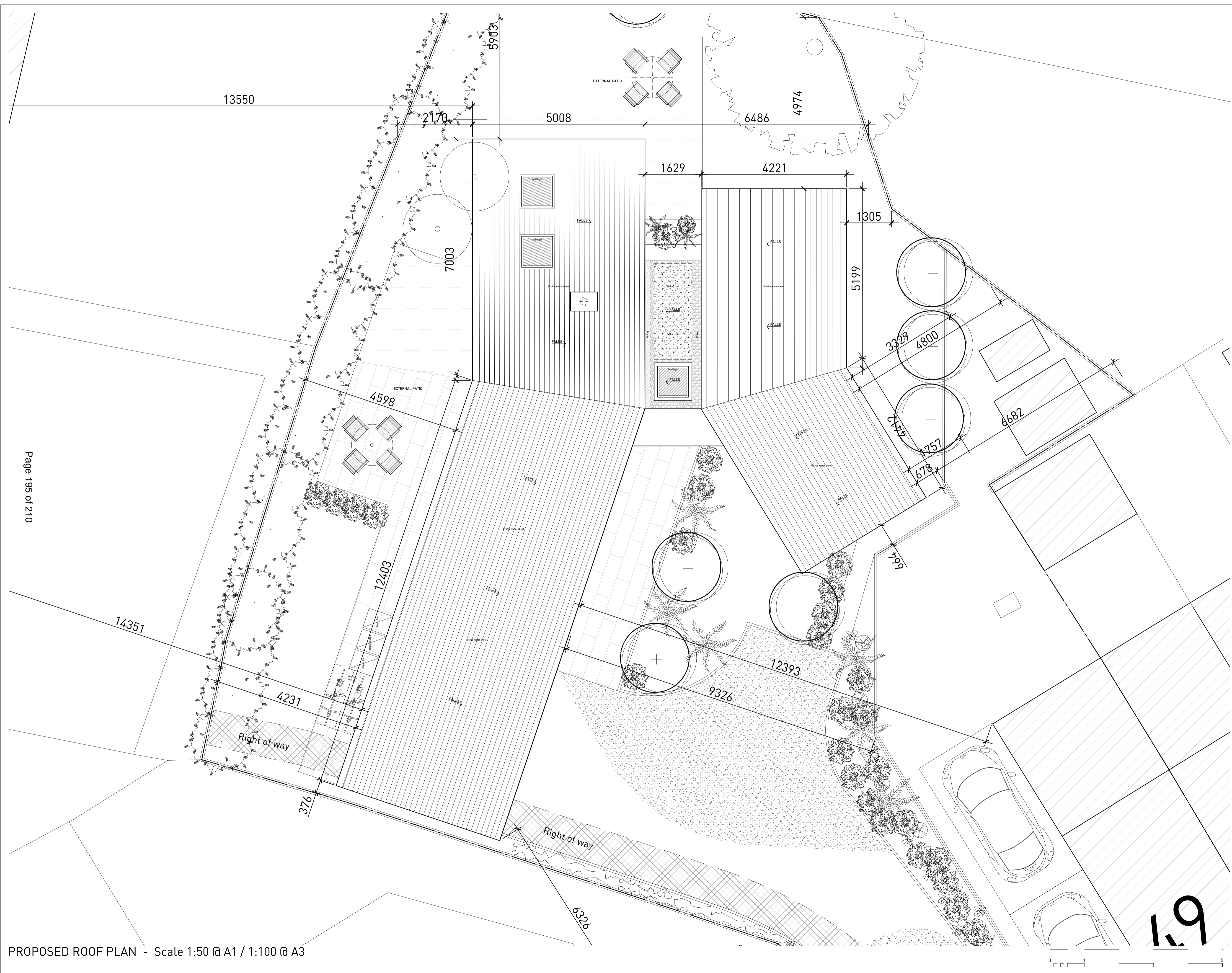
| | | |
|-----------|------------|-------------------------------|
| P01 | 14.04.2023 | PLANNING ISSUE OF INFORMATION |
| A | 16.03.2023 | ISSUE OF INFORMATION: Client |
| REVISIONS | | |

| | |
|-----------|-----------------------------------------------------|
| Project: | 2218 - New build bungalow |
| Client: | Mr D Coutts |
| Location: | St Neots, Cambridgeshire 49 St Neots Rd, E Socon |

| | | |
|------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------|-------------------|
| Devlin Architects Ltd Bridgfoot House, 150 High Street, Huntingdon, Cambridgeshire, PE29 3TF, UK. | Mobile: +44 7775 796 155 Email: info@devlinarchitects.com www.devlinarchitects.com Instagram: @devlinarchitects | devlin architects |
|------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------|-------------------|

| | | |
|-----------|--------------------------------|------------------|
| Title: | PLANNING Prop Elevations 02 | |
| Status: | RIBA Stage 3 | Scale: 1:50 @ A1 |
| Drawn: | DJS | Checked: SD |
| Revision: | P01 | Date: 16.03.2023 |

2218PL006 - P01



- GENERAL NOTES:
- 1 ALL DIMENSIONS AND LEVELS ARE TO BE DETERMINED AND OR CHECKED BY THE CONTRACTOR ON SITE. SHOULD AN DISCREPANCY BE IDENTIFIED BETWEEN THE DIMENSIONS, AND OR DETAILS DETERMINED ON SITE, AND THOSE SHOWN ON THE RELEVANT DRAWINGS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND HIS INSTRUCTIONS OBTAINED PRIOR TO THE COMMENCEMENT OF THE WORK.
 - 2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL TEMPORARY WORKS, AND THE SAFETY AND STABILITY OF THE NEW WORKS AND ADJACENT STRUCTURES DURING CONSTRUCTION.
 - 3 WHERE A PRODUCT IS SPECIFIED TO BE OBTAINED FROM A MANUFACTURER OR SUPPLIER, THE CONTRACTOR SHALL INSTALL THE PRODUCT IN ACCORDANCE WITH THE INSTRUCTIONS SUPPLIED BY THE MANUFACTURER. SHOULD THERE BE ANY VARIATION BETWEEN THE WORK SPECIFIED ON THE DRAWINGS AND THE MANUFACTURER'S INSTRUCTIONS, THE CONTRACTOR SHALL REFER THE MATTER TO THE ARCHITECT FOR INSTRUCTION BEFORE PROCEEDING.

| | | |
|-----------|------------|-------------------------------|
| P01 | 14.04.2023 | PLANNING ISSUE OF INFORMATION |
| A | 16.03.2023 | ISSUE OF INFORMATION: Client |
| REVISIONS | | |

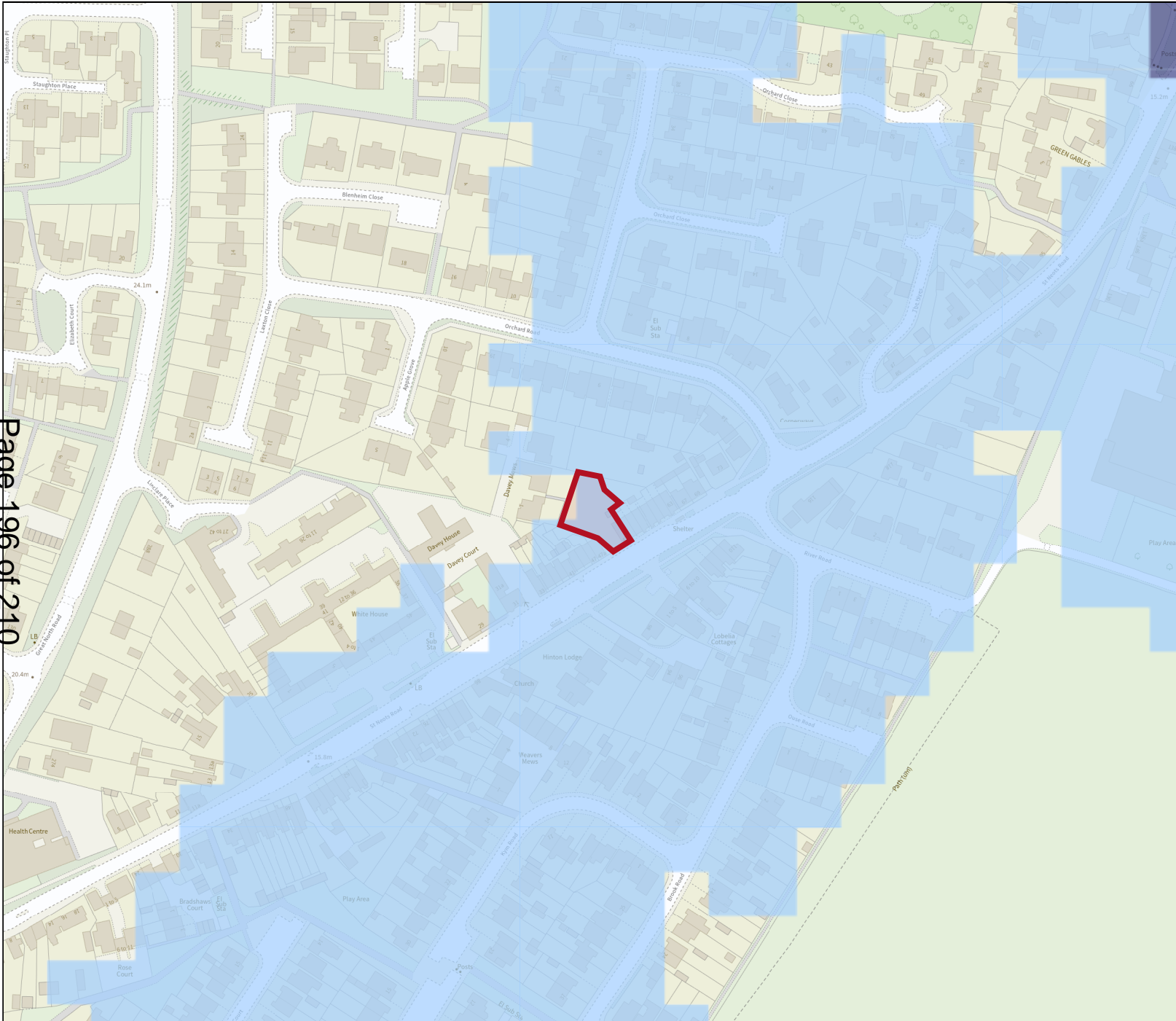
| | |
|-----------------------------------------------------------------------------------------|-----------------------------------------------------------------------|
| Project: | 2218 - New build bungalow |
| Client: | Mr D Coutts |
| Location: | 49 St Neots Road, E Socon, St Neots, Cambridgeshire |
| Devlin Architects Ltd | Mobile: +44 7775 796 155 |
| Bridgfoot House, 159 High Street, Huntingdon, Cambridgeshire, PE29 3TF, UK. | Email / Web: info@devlinarchitects.com www.devlinarchitects.com |
| | Instagram: @devlinarchitects |

| | | |
|-----------|--------------------------------|------------------|
| Title: | PLANNING Proposed Roof Plan | |
| Status: | Stage 3 | Scale: 1:50 @ A1 |
| Drawn: | SD | Checked: SD |
| Revision: | P01 | Date: 16.03.2023 |

2218PL004-P01

PROPOSED ROOF PLAN - Scale 1:50 @ A1 / 1:100 @ A3

19




Flood map for planning

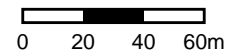
Your reference
<Unspecified>

Location (easting/northing)
517378/259799

Scale
1:2500

Created
20 Apr 2023 8:19

-  Selected area
-  Flood zone 3
-  Flood zone 2
-  Flood zone 1
-  Flood defence
-  Main river
-  Water storage area



DEVELOPMENT MANAGEMENT COMMITTEE 20th NOVEMBER 2023

Case No: 23/00827/S73

Proposal: Variation of Condition 5 of 20/00285/FUL - Removal of M4(2) (lifts) requirement to Blocks D1-D3.

Location: F Vindis And Sons St Ives Ltd

Applicant: Helen Pearson (Settle Group)

Grid Ref: 530974 270460

Date of Registration: 09.05.2023

Parish: Fenstanton

RECOMMENDATION - APPROVE

This application is referred to the Development Management Committee (DMC) because the officer recommendation of approval conflicts with Fenstanton Parish Council's recommendation of refusal.

1. DESCRIPTION OF SITE AND APPLICATION

- 1.1 This application relates to the former Vindis commercial vehicles sales and repair site. Full planning permission was granted in March 2022 under planning reference 20/00285/FUL for "Demolition of existing structures and proposed erection of 94 dwellings together with associated works including a pedestrian boardwalk."
- 1.2 Planning permission 20/00285/FUL was issued as a delegated decision because the Officer recommendation aligned with Fenstanton Parish Council's recommendation of approval. Pre-commencement conditions have since been discharged and development has commenced.
- 1.3 Condition 5 of planning permission 20/00285/FUL states, "*The development hereby approved shall comply with the requirements of points f) of Policy LP25 of the Huntingdonshire Local Plan such that all dwellings meet Building Regulation requirement M4(2) 'accessible and adaptable dwellings' (or replacement standards).*" The reason for imposing the condition was to ensure that the housing meets the needs of the District as required by Policy LP25 Housing Mix of the Huntingdonshire Local Plan to 2036.

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework 2023 (NPPF 2023) sets out the three objectives - economic, social and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2023 at paragraph 10 provides as follows: “So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).”
- 2.2 The NPPF 2023 sets out the Government's planning policies for (amongst other things):
- delivering a sufficient supply of homes;
 - building a strong, competitive economy;
 - achieving well-designed, beautiful and safe places;
 - conserving and enhancing the natural, built and historic environment
- 2.3 Planning Practice Guidance (PPG) and the National Design Guide 2023 are also relevant and material considerations.
- 2.4 For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)
- LP1: Amount of Development
 - LP2: Strategy for Development
 - LP3: Green Infrastructure
 - LP4: Contributing to Infrastructure Delivery
 - LP5: Flood Risk
 - LP6: Waste Water Management
 - LP7: Spatial Planning Areas
 - LP11: Design Context
 - LP12: Design Implementation
 - LP14: Amenity
 - LP15: Surface Water
 - LP16: Sustainable Travel
 - LP17: Parking Provision and Vehicle Movements
 - LP24: Affordable Housing Provision
 - LP25: Housing Mix
 - LP30: Biodiversity and Geodiversity
 - LP31: Trees, Woodland, Hedges and Hedgerows
 - LP34: Heritage Assets and their Settings
 - LP37: Ground Contamination and Groundwater Pollution
- 3.2 Supplementary Planning Documents
- Huntingdonshire Design Guide (2017)
 - Developer Contributions SPD (2011)

- Huntingdonshire Townscape and Landscape Assessment SPD (2022)
- Cambridgeshire Flood and Water SPD 2017
- Huntingdonshire Tree Guidance Note 3
- Annual Monitoring Report
- ECAP CCC Waste Management Design Guide (CCC SPD) 2012

Local policies are viewable at <https://www.huntingdonshire.gov.uk>

4. PLANNING HISTORY

- 4.1 20/00285/FUL - Demolition of existing structures and proposed erection of 94 dwellings together with associated works including a pedestrian boardwalk.
Permission granted 28.03.2022
- 4.2 22/80218/COND - Conditional Information for 20/00285/FUL: C9 (Future Maintenance), C22 (Surface Water During Construction) Conditions discharged 16.11.2022
- 4.3 22/80236/COND - Discharge of conditions 16 (CEMP) and 26 (Contamination) of 20/00285/FUL
Conditions discharged 02.03.2023
- 4.4 22/80249/COND - Discharge of conditions 17 (LEMP) and 37 (Biodiversity Enhancements) for 20/00285/FUL
Conditions discharged 20.01.2023
- 4.5 22/80254/COND - Discharge of condition 27 (Bat Licence) of 20/00285/FUL
Condition discharged 06.10.2022
- 4.6 22/80262/COND - Discharge of Conditions C20 (Foul Drainage), C21 (Surface Water Drainage) and C33 (Levels) of 20/00285/FUL.
Conditions discharged 12.05.2023
- 4.7 22/80274/COND - Discharge of condition 30 (Written Scheme of Investigation) of 20/00285/FUL
Condition partially discharged 16.02.2023
- 4.8 23/80059/COND - Discharge Of Conditions 3 (Materials), 25 (Architectural Details) and 38 (Elevations plot A3) for 20/00285/FUL
Conditions not discharged 23.03.2023
- 4.9 23/80060/COND - Discharge of Conditions 15 (Ventilation Strategy) and 36 (External Plant) of 20/00285/FUL
Pending consideration

- 4.10 23/80061/COND - Discharge of conditions 18 (Fire Hydrants) and 35 (Flood Mitigation Measures) for 20/00285/FUL
Pending consideration
- 4.11 23/80168/COND - Discharge of Conditions 3 (Materials), 25 (Architectural details) and 38 (Elevations for Plot A3) for 20/00285/FUL
Conditions discharged 02.06.2023

5. CONSULTATIONS

- 5.1 **Fenstanton Parish Council: Recommend refusal** – This development was granted approval as affordable housing and as such will likely be occupied by young families, single parent families with pushchairs, elderly and disabled. LP25 of Huntingdonshire's Local Plan – Section 7.21 states:- *Homes meeting M4(2) accessible and adaptable dwellings standards include design features that enable mainstream housing to be flexible enough to meet the current and future needs of most households, including in particular older people and those with disabilities, and also families with young children. Homes meeting M4(3) wheelchair dwellings include further design features so that homes are capable of meeting or being adapted to meet the needs of most wheelchair users.*

And Planning Permission was granted subject to a number of conditions including: - 5. Condition. *The development hereby approved shall comply with the requirements of points f) of Policy LP25 of the Huntingdonshire Local Plan such that all dwellings meet Building Regulation requirement M4(2) 'accessible and adaptable dwellings' (or replacement standards).*

Removal of the lifts in blocks D1-D3 would therefore breach the conditions on which planning application approval was granted and would mean that the properties in these blocks would not be accessible as there are no properties on the ground floor. Fenstanton Planning Committee strongly objected to this application.

- 5.2 **HDC Policy and Enabling Officer: Support** - This is to be a 100% Affordable Housing development comprising 94 dwellings. Ordinarily only 38 would be affordable housing therefore an additional 56 affordable homes will be provided for which, there continues to be high need. In addition, Settle have secured Homes England grant of £5,750,000 to enable this.

The site was acquired with detailed consent and should ideally be to m4(2) standard. There are some unusual design features due to flood risk which means no dwellings are at floor level. The previous owners/applicants proposed to address m4(2) and flooding generally, by providing lifts.

However due to layout at blocks D1-D3 there is in effect, a lift serving just 4 dwellings each. Bearing in mind that these are affordable dwellings, this results in abnormally high costs which would fall on occupants by way of service charge. This would be contrary to our affordable housing objectives (to provide housing that is affordable for people unable to afford market homes).

This affects 28 of the dwellings but lifts would remain for the other 66 dwellings so they will still be to m4(2) standards. We would therefore support the removal of the lifts at locations indicated.

It should be noted that in this case, the number of homes to be served by a lift (just 4) is particularly low and disproportionately results in high service charge. In addition, Settle acquired the site with consent secured and were not involved in design aspects. Prior to the introduction of m4(2) Registered Provider's were regularly providing (particularly for apartments) affordable housing of up to 3 storeys without a lift. In terms of the Parish Council concerns that these will likely be occupied by young families, single parent families with pushchairs, elderly and disabled, when considering tenants the affected homes can be directed to tenants who do not have significant mobility issues.

- 5.3 **HDC Urban Design: No objection** - The application seeks to vary condition 5 in order to waive the requirement for M4(2) compliance for the 28 flats within Blocks D1-D3 fronting Low Road and London Road for affordability reasons. This results in the removal of 10 lifts serving between 4 and 13 units each. Blocks E, F and G exceed 3 storeys and will retain the lifts as approved.

Comments should be sought from Housing and Policy colleagues in the first instance. Urban Design raise no objections to the loss of lifts within these 3 storey units.

- 5.4 **Lead Local Flood Authority: No objection** - The proposed amendment does not appear to have any surface water flood risk or drainage implications therefore we have no comments to make.

- 5.5 **Highways England: No objection**

- 5.6 **CCC Highways: No objection** - Following a careful review of the documents provided to the Highway Authority as part of the above planning application, it was noted that the Condition refers to lifts within the buildings. Therefore, I have no comments to make.

- 5.7 **HDC Environmental Health: No objection** - I can confirm I have no issues to raise.

5.8 **Cambridgeshire Constabulary Designing Out Crime Officer: No objection** - I have no comment or objection regarding the variation of condition 5.

5.9 **HDC Conservation: No objection** - This application relates to an aspect of the development (accessibility) which does not have an impact on heritage assets and does not require conservation advice.

6. REPRESENTATIONS

6.1 No representations received.

7. ASSESSMENT

7.1 Section 73 of the Town and Country Planning Act 1990 relates to applications for planning permission for the development of land without complying with conditions subject to which a previous planning permission was granted.

7.2 Part 2 of Section 73 states that on such an application, the local planning authority shall consider only the question of the conditions subject to which planning permission should be granted, and —

(a) if they decide that planning permission should be granted subject to conditions differing from those subject to which the previous permission was granted, or that it should be granted unconditionally, they shall grant planning permission accordingly, and

(b) if they decide that planning permission should be granted subject to the same conditions as those subject to which the previous permission was granted, they shall refuse the application.

7.3 The PPG advises that "Where an application under section 73 is granted, the effect is the issue of a new planning permission, sitting alongside the original permission, which remains intact and unamended. A decision notice describing the new permission should be issued, setting out all of the conditions related to it. To assist with clarity decision notices for the grant of planning permission under section 73 should also repeat the relevant conditions from the original planning permission unless they have already been discharged".

7.4 In this case, the principle of the development has been established under planning permission 20/00285/FUL which has been implemented and is now in the construction phase. Pre-commencement conditions have been cleared and significant progress has been made in discharging several other conditions in consultation with technical consultees. Therefore, the sole

matter for assessment under this application is accessible and adaptable homes.

Accessible and Adaptable Homes

- 7.5 Policy LP25 of the Huntingdonshire Local Plan to 2036 (the Local Plan) states, *“A proposal that includes housing will be supported which meets the optional Building Regulation accessibility standards (or replacement standards) as set out below, unless it can be demonstrated that site-specific factors make achieving this impractical or unviable:*

f. ensuring 100% of new dwellings, across all tenures provided, meet Building Regulation requirement M4(2) ‘accessible and adaptable dwellings’ (or replacement standards); and

g. within a large scale development proposal the construction standards of a proportion of new market dwellings should be further enhanced to meet Building Regulation requirement M4(3) ‘wheelchair adaptable dwellings’ (or replacement standards); and

h. for all affordable housing an appropriate proportion meeting Building Regulation requirement M4(3) ‘wheelchair adaptable dwellings’ (or replacement standards) should be negotiated with the Council's Housing Strategy team.”

- 7.6 The application is accompanied by a supporting letter from the applicant, Settle Group, which sets out that the approved drawings include for ten lifts serving between 4-13 units each and providing step-free access to the flats (to comply with M4(2) standards). The supporting letter states that the inclusion of lifts generates significant service change in ensuring suitable ongoing management and maintenance together with the day to day running costs. It is stated that from experience of other schemes they manage, the applicant predicts an annual cost of around £2,000 per lift which on this site would add £14,000 to the annual service charge or £500 per property served by these lifts. It is proposed to retain lifts in blocks E, F & G as they will exceed three stories. The proposal is to remove the requirement to provide lifts in blocks D1 – D3 which contain 28 flats.
- 7.7 The Section 106 Agreement signed in relation to the approved development (20/00285/FUL) requires a policy compliant 40% affordable housing to be provided which equates to 26 dwellings taking into account the deduction for vacant building credit. Therefore, there would be 68 market dwellings.
- 7.8 Following the completion of the S106 Agreement and grant of planning permission, Settle Group have taken on the site and will deliver the development as 100% affordable housing. This has been secured through CIL exemption for social housing on the remaining 68 dwellings which were not secured as affordable

through the Section 106 Agreement. The CIL exemption has a 7-year clawback period from the date of commencement (7th November 2022). The submitted supporting letter states that the 26 affordable units from the S106 requirement are contained within blocks D1-D3.

- 7.9 Policy LP25 of the Local Plan allows some flexibility in meeting Building Regulations accessibility standards but only where it can be demonstrated that site-specific factors make achieving this impractical or unviable. Paragraph 7.22 of the Local Plan states, *“Where proposals state that meeting such requirements would be impractical or unviable, such as may be the case where floor levels need to be raised due to flood risk and this would necessitate significant ramping to comply with the standards, they should provide evidence supporting this conclusion.”*
- 7.10 The key site-specific factor relevant to this case is that the site is in Flood Zone 3a (high risk of flooding) and therefore to mitigate the risk of flooding to future occupiers, the approved development features no habitable rooms at ground floor level. The design is in-effect a stilted development with the living areas at first floor and above. It was confirmed by the Council’s Building Control officers that lifts are required to all flats to comply with M4(2).
- 7.11 The seven D blocks contain 4 flats each meaning these lifts would serve only 4 flats each. The applicant states that the management and maintenance costs of providing these lifts would increase the annual service charge to around £500 per property served by these lifts. It is considered that the costs associated with lifts serving 4 units each would place a burden on future occupiers which brings into question the viability of these plots for affordable housing. Lifts are still proposed for the larger blocks of flats which contain more units (between 11-13 each), and therefore the service charge associated with those lifts would be shared by a much greater number of properties.
- 7.12 The applicant proposes to install the lift shafts within the D blocks as approved but not the lifts themselves. Provision of the lift shafts would allow potential for future adaption to serve the needs of occupiers if required, and this is welcomed. It is also recognised that Settle Group are a Registered Provider of affordable housing and would be able to direct potential occupiers to plots which most suit their needs.
- 7.13 Overall, taking into account the site-specific factors and noting that the potential for future adaption to provide lifts to the D blocks would remain, it is considered that the proposed variation to Condition 5 to not comply with M4(2) Building Regulations standards for the flats contained within the D block, would be acceptable in this instance because the associated costs to future occupiers (acknowledging the development is to be

delivered as 100% affordable housing) would unacceptably conflict with the objective of providing housing that is affordable for people unable to afford market homes.

Other Matters

- 7.14 Paragraph 4 on page 11 of the signed Section 106 Agreement related to the full planning permission (20/00285/FUL) states “An application approved by the Council pursuant to section 73 of the Act to vary or release any condition contained in the Planning Permission shall be deemed to be bound by the covenants and provisions of this Agreement which shall apply in equal terms to the new planning permission unless otherwise stated by the Council in writing”
- 7.15 Therefore, if approved, this application would be bound by the covenants and provisions of the Section 106 Agreement signed in relation to Planning Permission 20/00285/FUL.

8. RECOMMENDATION - APPROVAL subject to conditions to include the following

- Approved plans
- External materials to be in accordance with details approved under application 23/80168/COND.
- Development shall not exceed 94 dwellings.
- M4(2) accessible and adaptable standards to apply for all dwellings except flat blocks D1-D3.
- Scheme of hard and soft landscaping to be agreed.
- Details of external lighting to be agreed prior to installation.
- Future management and maintenance of streets to be in accordance with details approved under application 22/80218/COND.
- Removal of PD rights for gates across access
- Detailed scheme of vehicular access to be agreed prior to occupation.
- Access to be constructed to CCC specification.
- Implement and retain parking and turning areas.
- Access to be laid out with 6m radius kerbs.
- Ventilation strategy, if not resolved by details in 23/80060/COND, or to be in accordance with details in 23/80060/COND if approved.
- Construction Environmental Management Plan to be in accordance with details approved under 22/80236/COND.
- Landscape and Ecological Management Plan to be in accordance with details approved under 22/80249/COND.
- Fire hydrants in accordance with details approved under 23/80061/COND.
- Construction and delivery time restrictions.
- Foul water drainage to be in accordance with details approved under application 22/80262/COND.

- Surface water drainage to be in accordance with details approved under application 22/80262/COND.
- Surface water drainage during construction to be in accordance with details approved under application 22/80218/COND.
- Survey and report of surface water drainage system and any required corrective works to be submitted to and approved by LPA prior to adoption.
- Removal of PD rights for Schedule 2, Part 1, Classes A – F and Schedule 2, Part 2, Classes A – C of GPDO.
- Architectural details to be in accordance with details approved under application 23/80168/COND.
- Contamination remediation scheme to be in accordance with details approved under application 22/80236/COND. Verification to be submitted and approved prior to occupation.
- Compliance with approved tree protection measures.
- Compliance with LP12 part J Water Efficiency standards.
- Written Scheme of Investigation to be in accordance with details approved under application 22/80274/COND. Completion of post-excavation programme required.
- Full details of off-site highway improvement works to be submitted, approved and implemented prior to occupation.
- Travel Plan to be submitted to and approved by LPA prior to development being brought into use.
- Levels to be in accordance with details approved under application 22/80262/COND.
- No burning of waste during construction.
- Flood mitigation measures in accordance with details approved under 23/80061/COND.
- Details of any external plant to be agreed prior to installation.
- Biodiversity enhancements to be in accordance with details approved under application 22/80249/COND.
- Elevations for plot A3 to be in accordance with details approved under application 23/80168/COND.

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs.

**CONTACT OFFICER: Julie Ayre Planning Service Manager
(Development Management) - Enquiries
Julie.ayre@huntingdonshire.gov.uk**

Pathfinder House, St Mary's Street
Huntingdon. PE29 3TN
Developmentcontrol@huntingdonshire.gov.uk

01480 388424
www.huntingdonshire.gov.uk

Head of Planning Services
Pathfinder House
St. Mary's Street
Huntingdon
Cambridgeshire PE 29 3TN

Application Number: 23/00827/S73 Case Officer Lewis Collins

Proposal: Variation of Condition 5 of 20/00285/FUL - Removal of M4(2) (lifts) requirement to Blocks D1-D3.

Location: F Vindis And Sons St Ives Ltd Low Road Fenstanton

Observations of Fenstanton Town/Parish Council.

Please ✓ box as appropriate

Recommend **approval** because(please give relevant planning reasons in space below)

Recommend **refusal** because...(please give relevant planning reasons in space below)

This development was granted approval as affordable housing and as such will likely be occupied by young families, single parent families with pushchairs, elderly and disabled.

LP25 of Huntingdonshire's Local Plan -Section 7.21 states:- *Homes meeting M4(2) accessible and adaptable dwellings standards include design features that enable mainstream housing to be flexible enough to meet the current and future needs of most households, including in particular older people and those with disabilities, and also families with young children. Homes meeting M4(3) wheelchair dwellings include further design features so that homes are capable of meeting or being adapted to meet the needs of most wheelchair users.*

And Planning Permission was granted subject to a number of conditions including: - 5. Condition. *The development hereby approved shall comply with the requirements of points f) of Policy LP25 of the Huntingdonshire Local Plan such that all dwellings meet Building Regulation requirement M4(2) 'accessible and adaptable dwellings' (or replacement standards).*

Removal of the lifts in blocks D1-D3 would therefore breach the conditions on which the planning application approval was granted and would mean that the properties in these blocks would not be accessible as there are no properties on the ground floor. Fenstanton Planning Committee strongly objected to this application.

No observations either in favour or against the proposal

Clerk to Fenstanton Parish Council. (For GDPR purposes please do not sign)

Date : 02/06/2023

Failure to return this form within the time indicated will be taken as an indication that the Town or Parish Council do not express any opinion either for or against the application.

Please send response to email address below:-

Development.control@huntingdonshire.gov.uk

(Development Management)

Development Management Committee



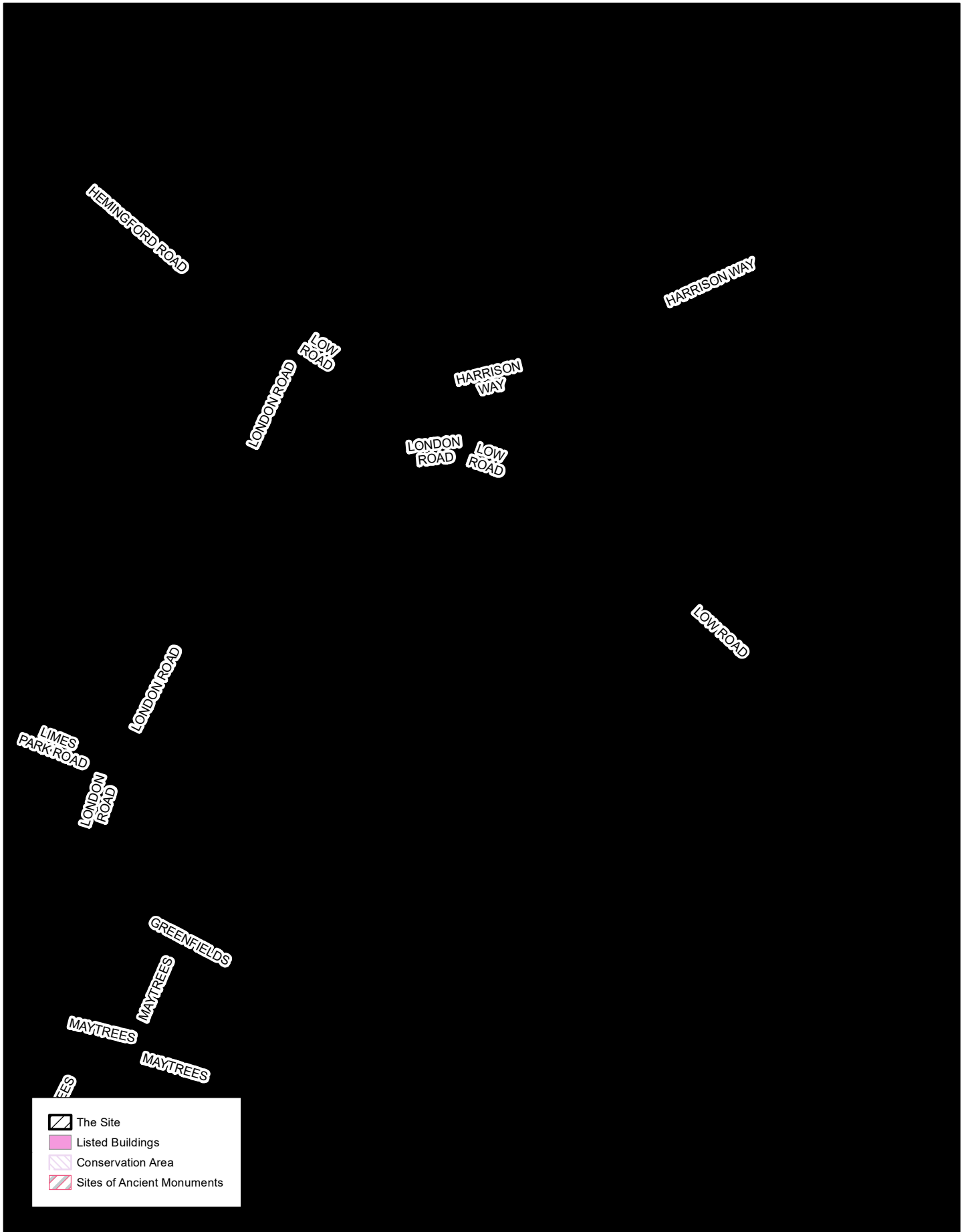
Scale = 1:2,500

Date Created: 07/11/2023

Application Ref: 23/00827/S73

Parish: Fenstanton

© Crown copyright and database rights 2023
Ordnance Survey HDC 100022322



Planning Appeal Decisions Since October 2023 Committee

| Ref No | Appellant | Parish | Proposal | Site | Original Decision | Delegated or DMC | Appeal Determination | Costs |
|------------------------|-------------------------------------|---------------|-----------------------------------------------------------------------------------------------------|-----------------------------------------------|--------------------------|-------------------------|-----------------------------|--------------|
| 23/005 14/HH FUL | Mr Neil Whittaker (AFA PLANNING) | St Ives | First Floor Extension Above Garage | 12 Sheepfold St Ives PE27 5FY | Refused | Delegated | Dismissed | N/A |
| 22/005 24/ FUL | Mr Terry Coffin | Glatton | Proposed erection of a single self-build dwelling, access improvements and ecological enhancements. | Land East Of 27 Infield Road Glatton | Refused | Delegated | Dismissed | N/A |

This page is intentionally left blank